

Z15-14 – Delaney at South Shore Harbor PUD

Request Rezone approximately 10.86 acres from “PS” (Public/Semi-Public) to “CM-PUD” (Mixed Use Commercial with a Planned Unit Development Overlay).

The applicant proposes to develop a senior-living community consisting of a mixture of independent living apartments, assisted living apartments, and memory care units. The applicant is proposing a total of 207 residential units, with the 120 independent living apartments being classified as dwelling units, with full kitchens.

Since the applicant is proposing a Planned Unit Development (PUD) for the site, a Concept Plan (also referred to as a PUD Document) has been submitted. A schematic master plan is also attached to the PUD Document for the Commission’s review and approval.

Should this request be approved, the development regulations specified within the PUD document will supersede those in the Zoning Ordinance. Otherwise, the development shall comply with the requirements of the Zoning Ordinance.

Applicant Dale Hardy, GeoSurv, LLC/Lee Lyles, LCS Development

Owner Clear Creek Independent School District

City Council Public Hearing & First Reading – October 13, 2015; Second Reading – October 27, 2015

Location Generally located southeast of Marina Bay Drive, at the intersection of Constellation Boulevard

Public Notification 52: Notices Mailed to Property Owners within 500 feet on August 31, 2015
0: Communications of Support Received
2: Communications of Opposition Received
Public Notice Published in August 30, 2015 *Galveston County Daily News*

Attachments 1. Concept Plan (PUD Document)
2. Zoning map/ property owner notification map
3. Aerial Map
4. Copy of Zoning Petition Form and email from resident

The Commission should consider the following findings in its deliberation, which shall be utilized to substantiate its findings. To determine the extent to which the proposed zoning would be compatible with surrounding properties, the surrounding land uses and the performance impacts should be considered.

Background **December 2, 2014** – Applicant has neighborhood meeting to discuss project. 23 persons were in attendance.

June 12, 2015 – Applicant submits application to rezone property from “PS” to “CM-PUD”.

August 30, 2015 – Public Notice is published in *The Galveston County Daily News*.

August 31, 2015 – Public Notice is mailed to neighboring properties and sign is posted on the subject property.

September 15, 2015 – Applicant holds a follow-up meeting with neighborhood presenting revised project.

September 21, 2015 - Planning & Zoning Commission to hear and consider recommendation to City Council.

October 13, 2015 – City Council scheduled to conduct public hearing and consider request on first reading.

October 27, 2015 – Subject to approval on first reading, City Council to consider request on second reading.

Site and Surrounding Area

The property is undeveloped and flat with areas of scrub and low trees throughout the property. A tree survey and/or tree disposition plan will be required for this property prior to the approval of any plats for the site.

Direction	Surrounding Zoning	Surrounding Land Use
North	“ROW” and “CG”	Marina Bay Drive and Undeveloped Commercial
South	“OS”	Open Space and Former GENCO Cooling Canal
East	“RSF-7-PUD”	South Shore Harbour, Section 17
West	“ROW” and “CG”	Marina Bay Drive and Developed Commercial

Due to the proximity of the adjacent residential to the east of the site, buffering the site is a concern. The Concept Plan increases the buffer at the time of planting by installing a continuous row of Savannah Holly. These plants will be no less than 12 feet tall at the time of planting, with a height of 20 to 30 feet at maturity. The site has also been configured so that the closest building is over 70 feet away from the residential property lines to the east.

Furthermore, the project is limited to 42 feet in height, with the exception of the Independent Living portion of the project located on the western portion of the site. 42 feet is the same as the maximum height allowed in the “RSF-7” zoning district adjacent to the site. The Independent Living portion of the project is limited to a maximum height of 54 feet. This portion of the project is located over 450 feet from the residential properties to the east of the site.

Access

This project will have proposed future access from Marina Bay Drive via two driveways, located at approximately the center of the site, at the intersection of Constellation Boulevard and Marina Bay Drive, and the northern portion of the site. A Traffic Impact Analysis was performed for this project and indicated that this project will have a minimal impact on traffic in the area. There is no plan at this point to add a signal at Constellation Boulevard and Marina Bay Drive.

Land Use Analysis

The property is currently zoned “PS” and would need to be rezoned to allow for the proposed use. The applicant proposed a PUD after hearing the initial concerns of the neighbors in December 2014. A traditional rezoning would provide neither the City nor the neighbors any promise of what was proposed would actually be built. A PUD becomes ordinance, and the associated regulations would be enforceable by the City, regardless if property ownership changed hands in the future.

In addition to the criteria for considering a rezone application for the property, the Planning and Zoning Commission shall recommend approval or conditional approval of the Concept Plan (PUD Document) to the City Council upon the following findings:

1. The Concept Plan is consistent with the adopted Comprehensive Plan and other applicable policies and is compatible with surrounding development.

According to the Comprehensive Plan’s Future Land Use Plan (FLUP), this tract is classified as “Public/Institutional”, as it has been owned by CCISD for many years. The proposed PUD request is consistent with the FLUP, as nearly one-half of the units in the development will be licensed by the Texas Department of Aging and Disability Services. The use will function

similar to an institutional use such as a nursing home while still providing a residential product.

- 2. The Concept Plan will enhance the potential for superior urban design and amenities in comparison with the development under the base district regulations that would apply if the Concept Plan were not approved.**

This request would rezone the site to “CM-PUD” (Mixed Use Commercial with a Planned Unit Development Overlay). The Concept Plan severely limits the allowed uses on the property from what would be permitted by right in the “CM” district. Furthermore, this project provides for architectural standards and a site layout that far exceeds the standards of what would typically be allowed in a “CM” district.

- 3. Deviations from the base district regulations that otherwise would apply are justified by compensating benefits of the Concept Plan.**

The proposed development will not deviate from the base zoning district regulations. The purpose of this PUD is to provide an assurance to the neighbors and the City that the proposed project will be developed in accordance with an enforceable ordinance. The PUD provides a way to assure that the project proposed is the project that will actually be developed.

- 4. The Concept Plan includes adequate provisions for utilities services and emergency vehicle access; and public service demands will not exceed the capacity of the existing planned systems.**

As part of the PUD submittal process, preliminary drawings for utilities, as well as a conceptual site plan showing site circulation, were provided. If this PUD is approved, each phase of the development requires a more in-depth review of the site by the City prior to the issuance of any building permits.

**Public Benefit
vs. Imposed
Hardship**

Based upon the information provided, the Commission will have to determine “the gain to public health, safety, welfare, due to denial of this application as compared to the hardship imposed upon the owner as a result of denial of the application.” This PUD will limit the uses on the site to retail, restaurants, and office. Incompatible uses such as industrial, automotive, and self-storage are not permitted in the PUD. A petition was submitted to staff voicing concern for the proposed amendment. A three-fourths vote is not required per Section 211.006(d) of the Texas Local Government Code as less than 20% of those who signed the petition are within 200 feet of the land covered by the proposed change.

**Staff
Recommendation**

Staff recommends approval of the rezoning and adoption of a Planned Unit Development Overlay for the subject site in accordance with the proposed Concept Plan and Planned Unit Development document.

For additional information, you may contact Ryan Granata, AICP, Planning Manager at (281) 554-1097 or at ryan.granata@leaguecity.com.

The Delaney at South Shore Harbor Planned Unit Development Overlay District

**Prepared for:
LCS Development**

**Prepared by:
City of League City Planning Department**



June 2015

1. **Zoning Designation:** The property shall be developed and used in accordance with the development and use regulations of the “CM” (Commercial Mixed Use) Zoning district as set forth in the League City Zoning Ordinance except as supplemented or modified by this Ordinance.
2. **Planned Unit Development Overlay Area:** The Delaney at South Shore Harbor Planned Unit Development Overlay (“the PUD”), generally described as 10.857 acres of land out of Division “D” of League City, an unrecorded subdivision of part of the Michael Muldoon Two League Grant, Abstract No. 18, and a part of the S.F. Austin Survey, Abstract No. 3, said land being more particularly described in **Exhibit B**. The concept plan for the PUD is shown on **Exhibit F**, attached hereto.
3. **Land Use Classification Definitions:** Except as defined below, the use classifications that are included in Section 5 are defined in Article V of the League City Zoning Ordinance. In cases where a specific land use or activity is not defined either in this section or in the League City Zoning Ordinance, the City Planner or their designee shall assign the land use or activity to a classification that is substantially similar in character.
 - a. *Independent living facility.* A managed residential community consisting of private residential units, including full kitchens, and providing meal service, laundry service, housekeeping, social activities, and personal services in a group setting to persons fifty-five (55) years and older.
 - b. *Assisted living facility.* A managed residential community consisting of private residential units and providing assistance with activities of daily life such as meal preparation, laundry service, housekeeping, social activities, and personal services in a group setting to persons fifty-five (55) years and older who require help or assistance with activities of daily living. An assisted living facility may provide nursing services, but is not a nursing home or convalescent facility as defined by the State of Texas.
 - c. *Memory care facility.* A managed residential community consisting of private residential units and providing assistance with activities of daily life, such as meal preparation, laundry service, housekeeping, social activities, and personal services in a group setting to persons with Alzheimer’s disease and other forms of permanent memory impairment.
4. **Building Height:** The maximum building height within the PUD shall be no greater than 42 feet with the exception of the Independent Living portion of the project which will have a height of no greater than 54 feet. The location of the Independent Living portion of the project is shown as “IL” on **Exhibit F**.
5. **Schedule of Permitted Uses:** The table below includes the permitted uses for the PUD. Regulations for each use are established by the following letter designations:

“P” designates permitted use classifications.

“A” designates permitted accessory use classifications.

The number designations refer to additional regulations listed at the end of the table below.

Use Classifications	
Residential	
Assisted living facility	P
Independent living facility	P
Memory care facility	P
Commercial	
Alcohol Beverage Sales	
On-Premise Consumption	A(1)(2)
Offices	A(1)(3)
Personal Services	A(1)(4)
Retail Sales	A(1)

- (1) Use is limited to residents and guests only, not open for public use. Retail sales is for on premises resident store for residents only
- (2) Permissible if in accordance with Chapter 10 of the City of League City Code of Ordinances and the Texas Alcoholic Beverage Commission (TABC) Code.
- (3) Use is limited to administrative and medical offices only open to residents of the community.
- (4) Personal services is limited to an on premises beauty salon, services include massage therapy only open to residents of the community

6. Landscaping: Landscaping of properties in the PUD shall be developed in accordance with the following standards:

- a. Plantings shall conform to the following minimum sizes at the time of planting:

Shade trees:	2 – ½” caliper, balled and burlapped or container
Ornamental trees:	6’ tall, balled and burlapped or container
Shrubs:	3’ tall, planted no less than 36” off center.

- b. All plant materials shall be from the attached plant list in **Exhibit H**. At least three different tree species, two different shrub species, and one ornamental grass species shall be included in the project landscaping.
- c. Landscape islands of no less than 152 square feet shall be provided within each surface parking area for every eight (8) parking spaces, or fraction thereof.

- (1) The landscape islands required in Section 6.c., above, need not be placed/located every eight (8) spaces; however, in no case shall any parking space be further than 200 feet from any landscape island and the total square footage of all landscape islands required for each parking area be less than is required by said Section 6.c., above.
 - (2) Shade trees shall be planted in the parking lot at a ratio of one (1) tree for every eight (8) spaces. No less than 75 percent of the landscape islands required in Section 6.c., above, shall contain shade trees. All other island(s) not including trees, shall be completely landscaped with shrubs or ornamental grasses not exceeding three (3) foot in height.
- d. Non-deciduous or evergreen shrubs shall be planted as a continuous hedge to screen parking areas that are adjacent to private street rights-of-way, street easements, or internal access roads/aisles.
- e. A ten (10) foot landscape setback shall be located on all property adjacent to Marina Bay Drive (FM 2094). The landscape setback shall consist of:
- (1) One shade tree for every 30 linear feet of street frontage, excluding driveways. Trees may be clustered or spaced linearly rather than being on 30-foot centers. The minimum size of the tree shall be 2 ½ - inch caliper upon installation. If a utility easement exists within the landscape setback, required trees may be planted within 10 feet of the easement.
 - (2) A continuous hedge consisting of shrubs that are not less than three (3) feet or more than four (4) feet in height when mature and no less than 36 inches in height at the time of installation. Shrubs shall be planted no more than 36 inches on center. The landscape hedge shall be set back a minimum of three (3) feet and a maximum of six (6) feet from the perimeter of any parking space, driveway, or any access aisle. The hedge must provide continuous screening of the parking area when viewed perpendicular to the public street. Shrubs planted within sight distance triangles shall not exceed 24 inches in height at maturity.
 - (3) A berm measuring not less than three (3) feet or more than four (4) feet in height from finished grade of the parking lot may be utilized as a substitute screening method. The berm shall be set back a minimum of three (3) feet and a maximum of six (6) feet.
- f. A 50 foot buffer yard shall be located adjacent to the residentially zoned property to the east of the site. The buffer yard shall consist of:
- (1) An eight (8) foot tall solid wooden fence along the eastern property line.

(2) A continuous row of Savannah Holly or other evergreen tree shall be planted. These trees shall be no less than 12 feet in height at the time of planting.

(3) Pervious pavement for emergency access shall be permitted in the buffer yard.

(4) Buffer yard can be reduced by 5 feet if 8 foot tall screen fence is provided.

7. **Exterior Lighting:** All exterior lighting in the PUD shall be subject to the following:

- a. Parking lot light fixtures shall be a maximum of 25 feet tall. Concrete bases for light poles shall not exceed a height of 30 inches from finished grade.
- b. All parking lot light fixtures shall be full cutoff fixtures. All exterior lighting shall be hooded or otherwise shielded so that the light source is not directly visible from the public right-of-way.
- c. All exterior lighting shall be shielded so that substantially all emitted light falls upon the property from which the light emanates. The measureable amount of light created by the project beyond three feet of the PUD boundary shall be no more than 0.2 foot candles.

8. **Screening of Structures:** The Property shall be developed with screening as required by the City of League City Zoning Ordinance, however the City Planner or their designee shall have the authority to permit screening to be substituted with an alternate design, including landscaped screening. In addition, the Property shall be developed in accordance with the following screening requirements:

- a. A screening fence eight (8) feet in height and constructed of solid wooden materials shall be constructed to screen the site from any adjacent residentially-zoned property.
- b. A screening of evergreen trees such as hollies, 20 feet to 30 feet in height when mature shall be installed to screen the site from any adjacent residentially-zoned property.
- c. Screening for utility boxes and similar appurtenances located on the exterior of any building shall be a continuous row of evergreen shrubs not less than three (3) feet tall spaced not less than three (3) feet on center.

9. **Signage:** Signs placed on the Property shall be located and designed in accordance with the Concept Sign Plan shown on **Exhibit K**, attached hereto and incorporated herein by reference, and subject to the following additional regulations:

- a. One (1) monument sign shall be permitted for each entrance as shown on **Exhibit K** and designed in accordance with **Exhibit K**, at a height not to exceed eight (8) feet. The area of the monument sign shall not exceed 75 square feet.
 - b. One (1) monument sign shall be allowed for building identification for each section of the facility as shown on **Exhibit K** and designed in accordance with **Exhibit K**, at a height not to exceed four (4) feet. The area of the monument sign shall not exceed 40 square feet.
10. **Building Elevations/Materials:** In general, the Property shall be developed in a character that is complementary with the South Shore Harbour community and in accordance to the following regulations:
- a. Building elevations shall include a minimum percentage of 80% of preferred materials for the front elevations, and 40% of preferred materials for the side and rear elevations.
 - b. All building elevations shall include a minimum of two preferred materials in addition to any required transparency.
 - c. Preferred material shall include the following:
 - a. Natural wood
 - b. Stucco
 - c. Fiber cement lap siding
 - d. Natural stone
 - e. Unpainted brick
 - d. At least one of the preferred materials shall be:
 - a. Unpainted brick
 - b. Natural stone
 - e. The following materials shall not be used as on exterior finish:
 - a. Plastic siding
 - b. Fiberglass panels
 - c. Plywood
 - d. Corrugated metal siding

EXHIBITS

Exhibit A – Summary/Schedule
Exhibit B – Metes and Bounds/Topo/Survey
Exhibit C – Site location map
Exhibit D.1 – Current site zoning
Exhibit D.2 - Proposed site zoning
Exhibit E – Site vegetation
Exhibit F – Site plan
Exhibit G – Landscape plan
Exhibit H – Plant list
Exhibit I – Site lighting
Exhibit J.1 – Exterior perspective
Exhibit J.2 – Exterior elevation
Exhibit K – Site signage elevations
Exhibit L.1 – Storm Sewer Plan
Exhibit L.2 – Sanitary Sewer Plan
Exhibit L.3 – Water Main Plan
Exhibit M – SWPPP
Exhibit N – Notice of Intent for TCEQ
Exhibit O – Traffic Impact Analysis
Exhibit P – Proposed Zoning Change Meeting Notice

EXHIBIT A

SUMMARY

The Delaney at South Shore Harbor senior living community is located in League City, Texas. The 11 acre site is located Marina Bay Drive north of Deke Slayton Highway. Access will be provided from Marina Bay Drive.

The Project consists of the following major components:

- Four story residential wings containing 120 Independent Living apartments
- Three story Assisted Living residential building containing 55 AL apartments, 61 beds
- One story Memory Care building containing 32 apartments, 36 beds
- One story Commons/Clubhouse building connecting the residential wings and providing common activities, wellness, and dining amenities with central kitchen and support areas for the community

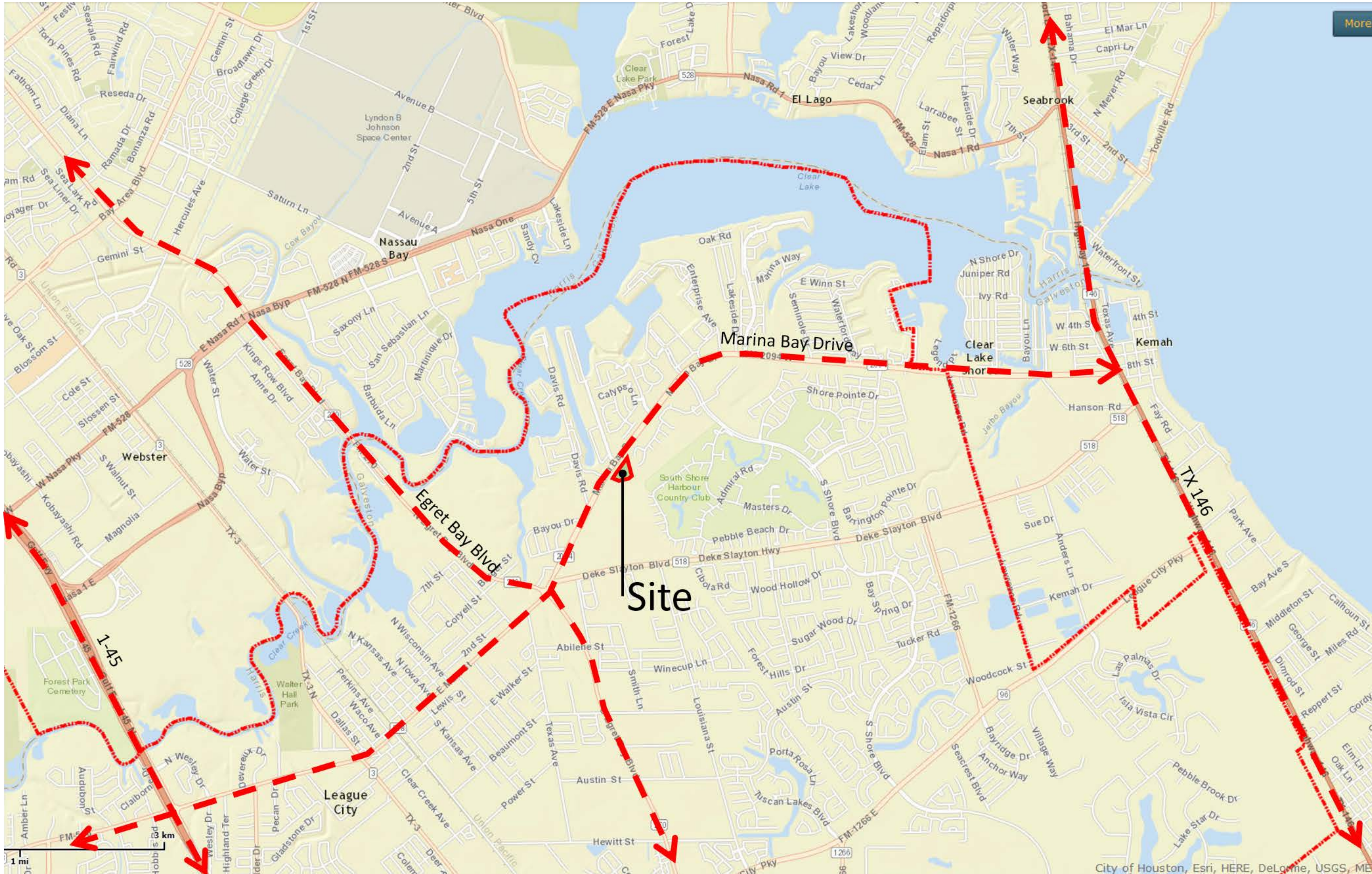
The site is designed to include parking for residents, staff, and visitors, resident courtyards for each level of care, and walking paths.

SCHEDULE

- Start Construction between November 2015 – March 2016
- 17 month construction schedule
- 6 weeks TDAS licensing procurement

EXHIBIT - C
SITE LOCATION MAP

The Delaney™ at
South Shore Harbor
League City, TX



SITE LOCATION MAP
JUNE 12, 2015



EXHIBIT - D.1
CURRENT SITE ZONING

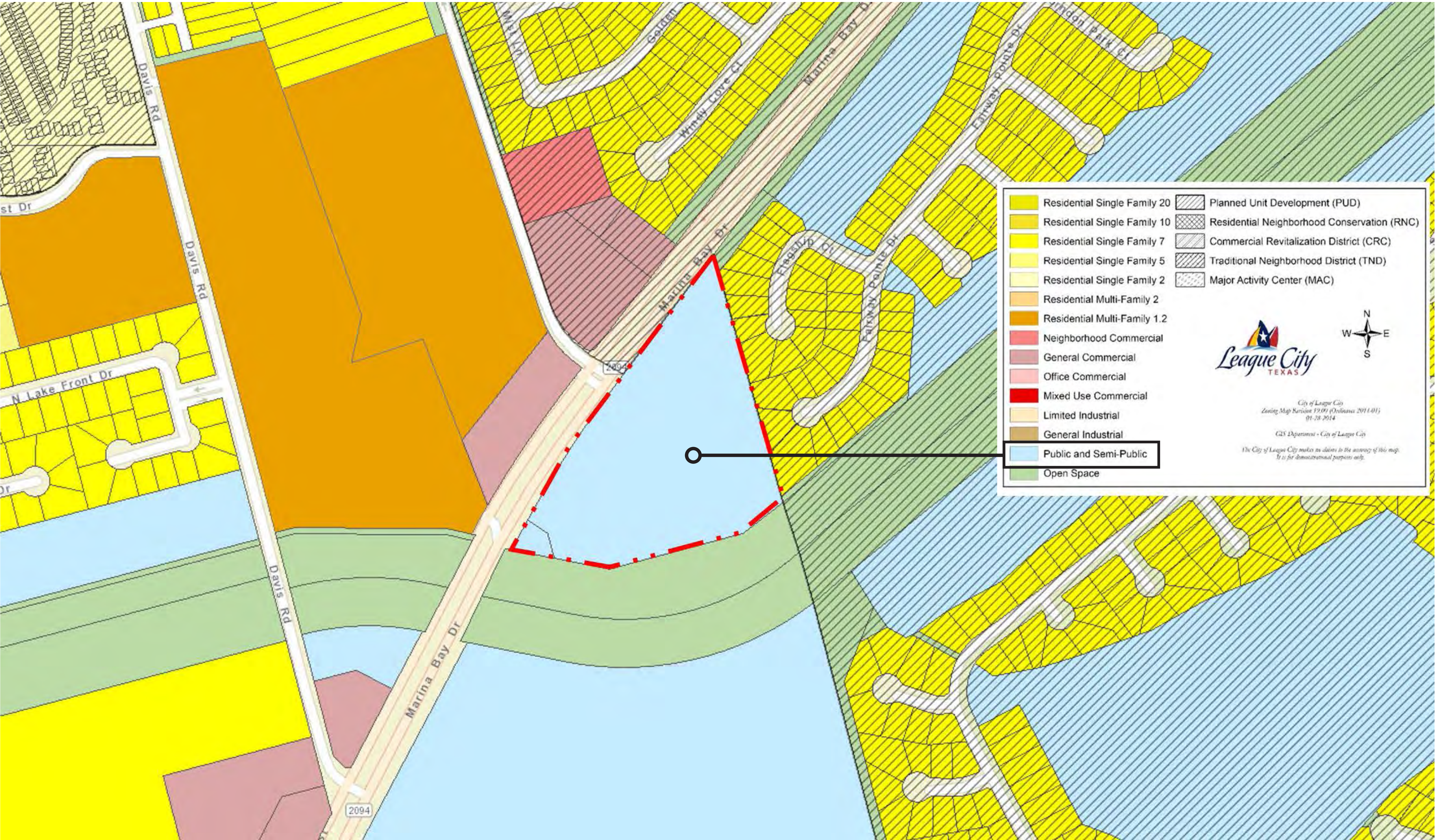
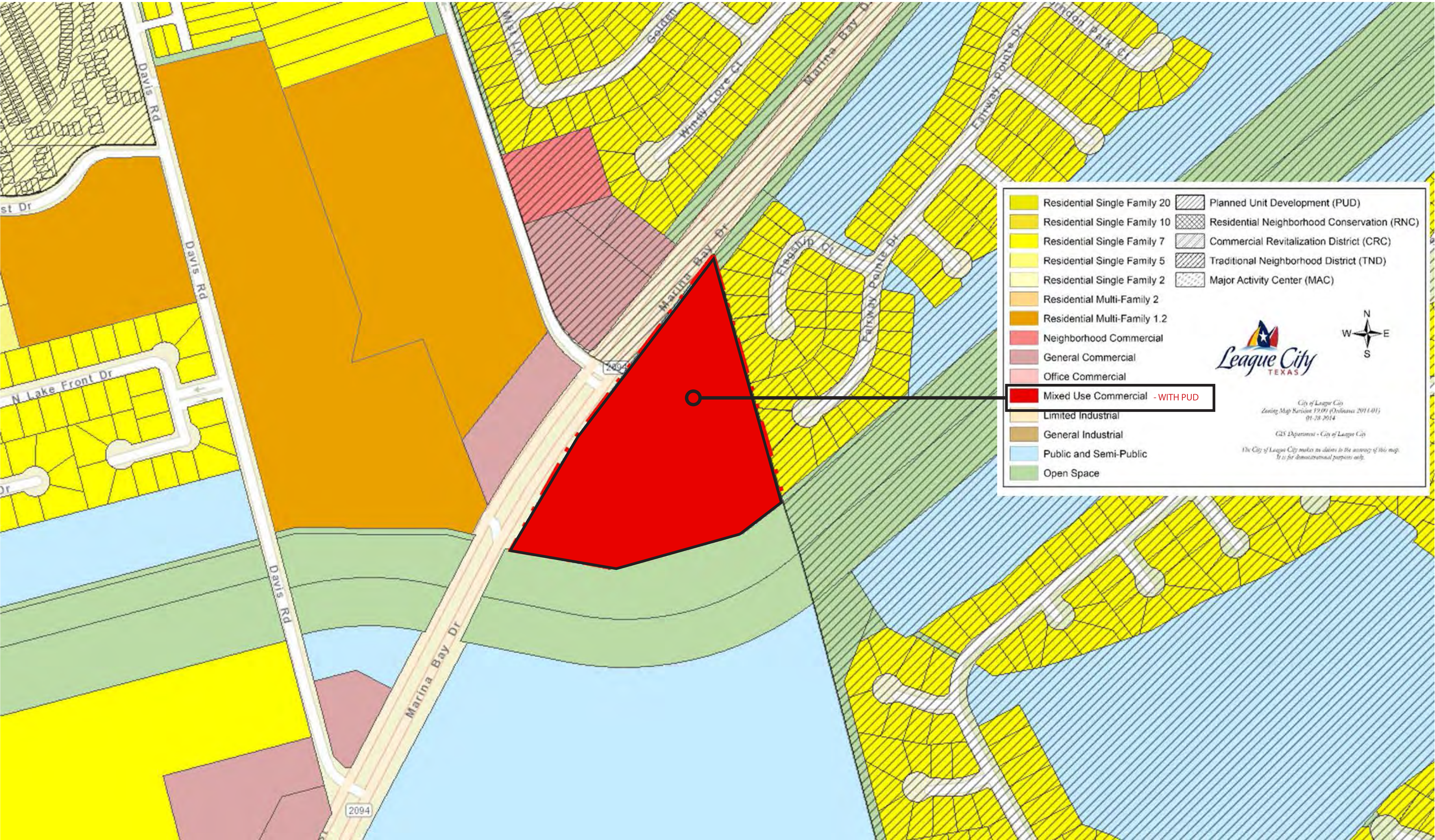


EXHIBIT - D.2
PROPOSED SITE ZONING

The Delaney™ at
South Shore Harbor
League City, TX



PROPOSED SITE ZONING
JUNE 12, 2015



EXHIBIT - E
SITE VEGETATION

**The Delaney™ at
South Shore Harbor**
League City, TX



SITE VEGETATION
JUNE 12, 2015





EXHIBIT - F
SITE PLAN

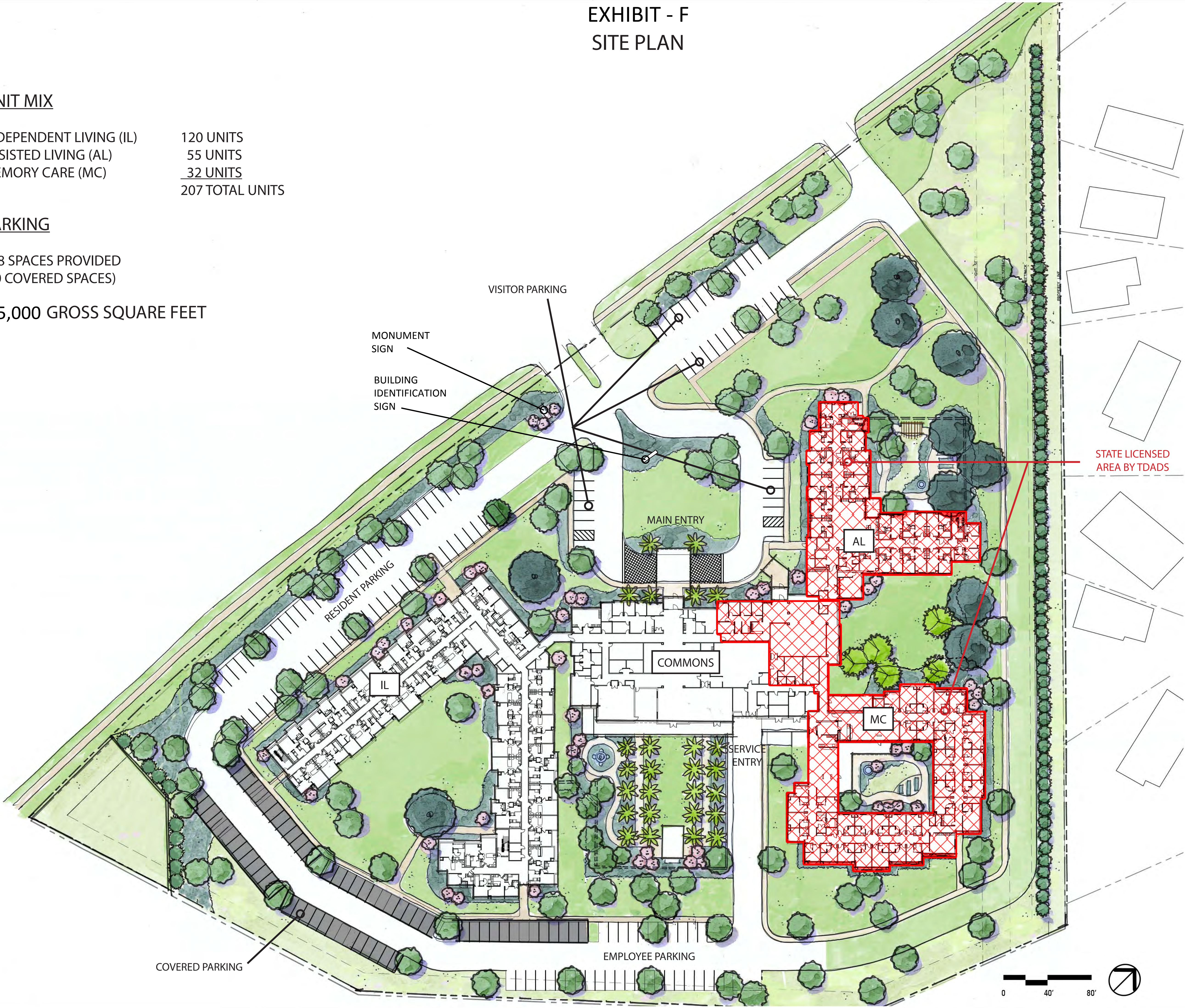
UNIT MIX

INDEPENDENT LIVING (IL)	120 UNITS
ASSISTED LIVING (AL)	55 UNITS
MEMORY CARE (MC)	32 UNITS
207 TOTAL UNITS	

PARKING

188 SPACES PROVIDED
(60 COVERED SPACES)

215,000 GROSS SQUARE FEET



0 10' 20'

EXHIBIT - G LANDSCAPE PLAN

BUILDING FACE

PROPERTY LINE

20'-30" HEIGHT, 6'-10'
DIAMETER WHEN MATURE.

12'-14' HEIGHT, 5'-6'
DIAMETER WHEN PLANTED.

PLANT
10' O.C.

8' FENCE

45' BUFFER YARD

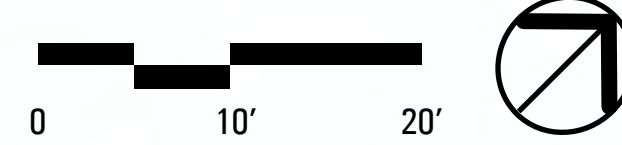
26' FIRELANE

10'

15' UTILITY
EASEMENT

LAWN AND
LANDSCAPE BED
5' WALK
GRASSPAVE

ENLARGEMENT A



10' REQUIRED PARKING
LOT SCREENING, 3 GALLON
SHRUBS, PLANT 42" O.C., TYP.

PROPOSED ORNAMENTAL
TREE, TYP.
ENTRY SIGN

LIVE OAK, TYP.

NATIVE GRASS ZONE

PERVIOUS PAVING

SECTION A

SECTION B

SAVANNAH HOLLY
SCREENING

BALD CYPRESS,
TYP.

NEW 8' SOLID WOOD
FENCE

SECTION C

15' UTILITY EASEMENT

45' LANDSCAPE BUFFER



MARINA BAY DRIVE

INDEPENDENT LIVING
(4 STORY BUILDING)

COMMONS
(1 STORY BUILDING)

ASSISTED LIVING
(3 STORY BUILDING)

MEMORY CARE
(1 STORY BUILDING)

OPEN LAWN

LIFT STATION

LANDSCAPE
SCREENING

NATIVE GRASS ZONE

COVERED PARKING, TYP.

CONCRETE
WALK, TYP.

DUMPSTER LOCATION

EXHIBIT - H
PLANT LIST



League City Senior Living
Potential Plant Palette:

Canopy Trees

- Live Oak - Quercus virginana
- Shumard Oak – Quercus shumardii
- Bald Cypress – Taxodium distichum
- Lacebark Elm – Ulmus parvifolia
- Mexican Sycamore – Platanus mexicana
- Southern Magnolia – Magnolia grandiflora
- River Birch – Betula nigra

Ornamental Trees

- Texas Redbud – Cercis canadensis var. texensis
- Sweet Bay Magnolia – Magnolia virginiana
- Crape Myrtle – Lagerstroemia indica
- Cherry Laurel – Prunus caroliniana
- Savannah Holly- Ilex x attenuata ‘Savannah’
- Texas Sable Palm – Sable texana
- Mexican Fan Palm – Washingtonia robusta

Shrubs/ Ornamental Grasses/ Groundcover

- Gulf Muhly – Muhlenbergia capillaris
- Lindheimer Muhly – Muhlenbergia lindheimeri
- Shell Ginger - Alpinia
- Indian Hawthorn – Raphiolepis indica
- Bicolor Iris – Dietes bicolor
- Black Eyed Susan – Rudbeckia fulgida
- Liriope – Liriope muscari
- Dwarf Abelia – Abelia grandiflora
- Dwarf Palmetto – Sable minor
- Dwarf Yaupon Holly – Ilex vomitoria ‘Nana’
- Hibiscus – Hibicus rosa-sinensis
- Maiden Grass – Miscanthus sinensi
- Virginia Sweetspire – Itea virginica
- Bridal Wreath Spirea – Spirea cantonensis ‘Lanceata’
- Daylily – Hemerocallis spp.
- Trailing Rosemary – Rosmarinus prostratus
- Trailing Lantana – Lantana ‘Purple Trailing’
- Purple Coneflower – Echinoce purpurea
- Plumbago – Plumbago auriculata
- New Gold Lantana – Lantana x hybrid ‘New Gold’

Lawn

- Common Bermuda – Cynodon dayctylon



EXHIBIT - I
SITE LIGHTING PLAN



PARKING LOT FIXTURES
LITHONIA D SERIES LED 25' POLE HEIGHT
250' APPROX. SPACING



PEDESTRIAN POLE LIGHT FIXTURES
SELUX SATURN 2 - 12' POLE HEIGHT

LIGHTING LEGEND AND NOTES

- PARKING LOT FIXTURES
- PEDESTRIAN POLE LIGHT FIXTURES

EXHIBIT - J.1
EXTERIOR

The Delaney™ at
South Shore Harbor
League City, TX



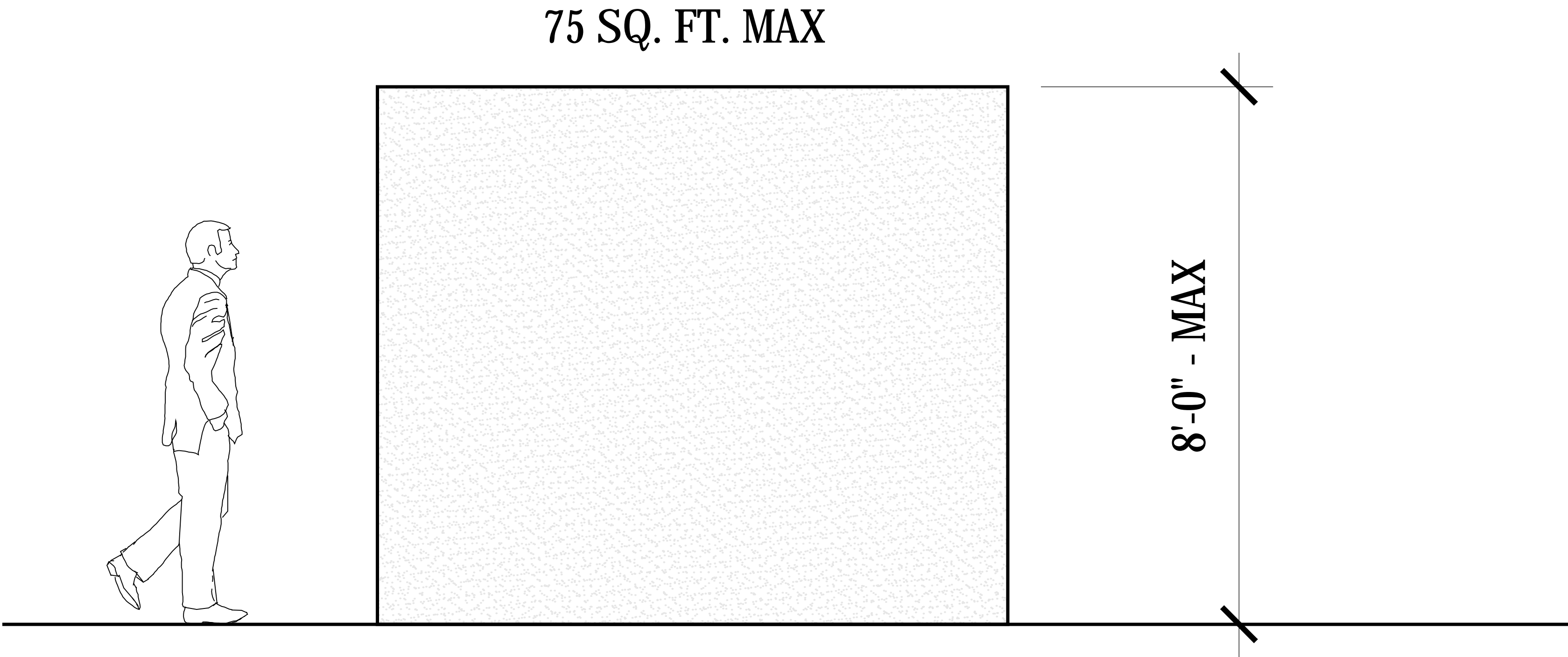
EXHIBIT - J.2
EXTERIOR

The Delaney™ at
South Shore Harbor
League City, TX

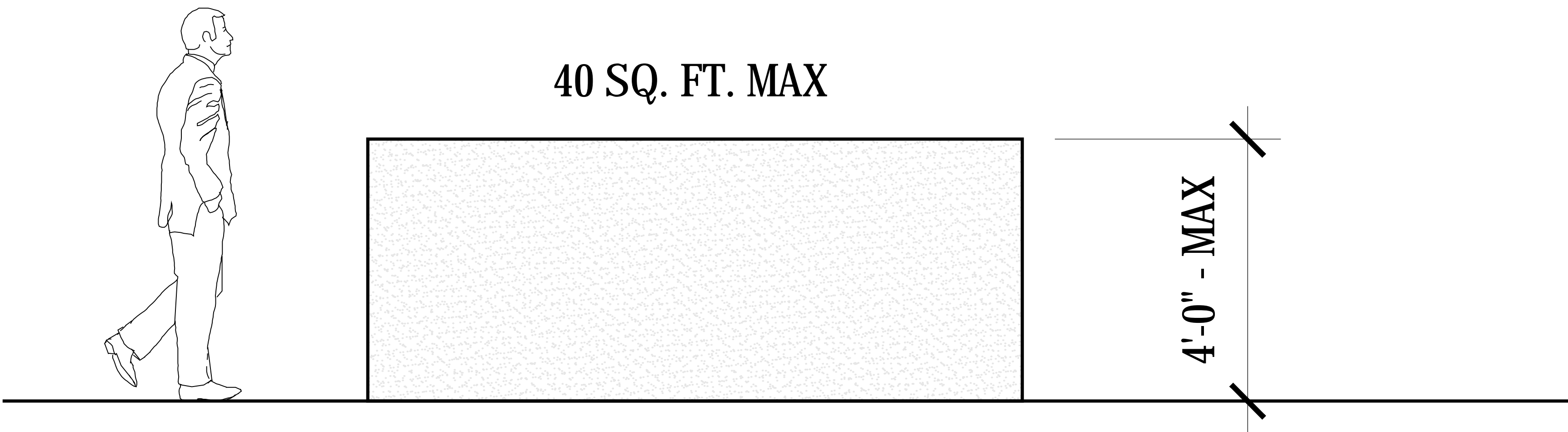


EXTERIOR
JUNE 12, 2015





MONUMENT SIGN
FRONT ELEVATION



BUILDING IDENTIFICATION SIGN
FRONT ELEVATION

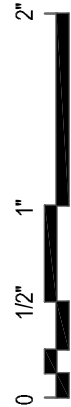
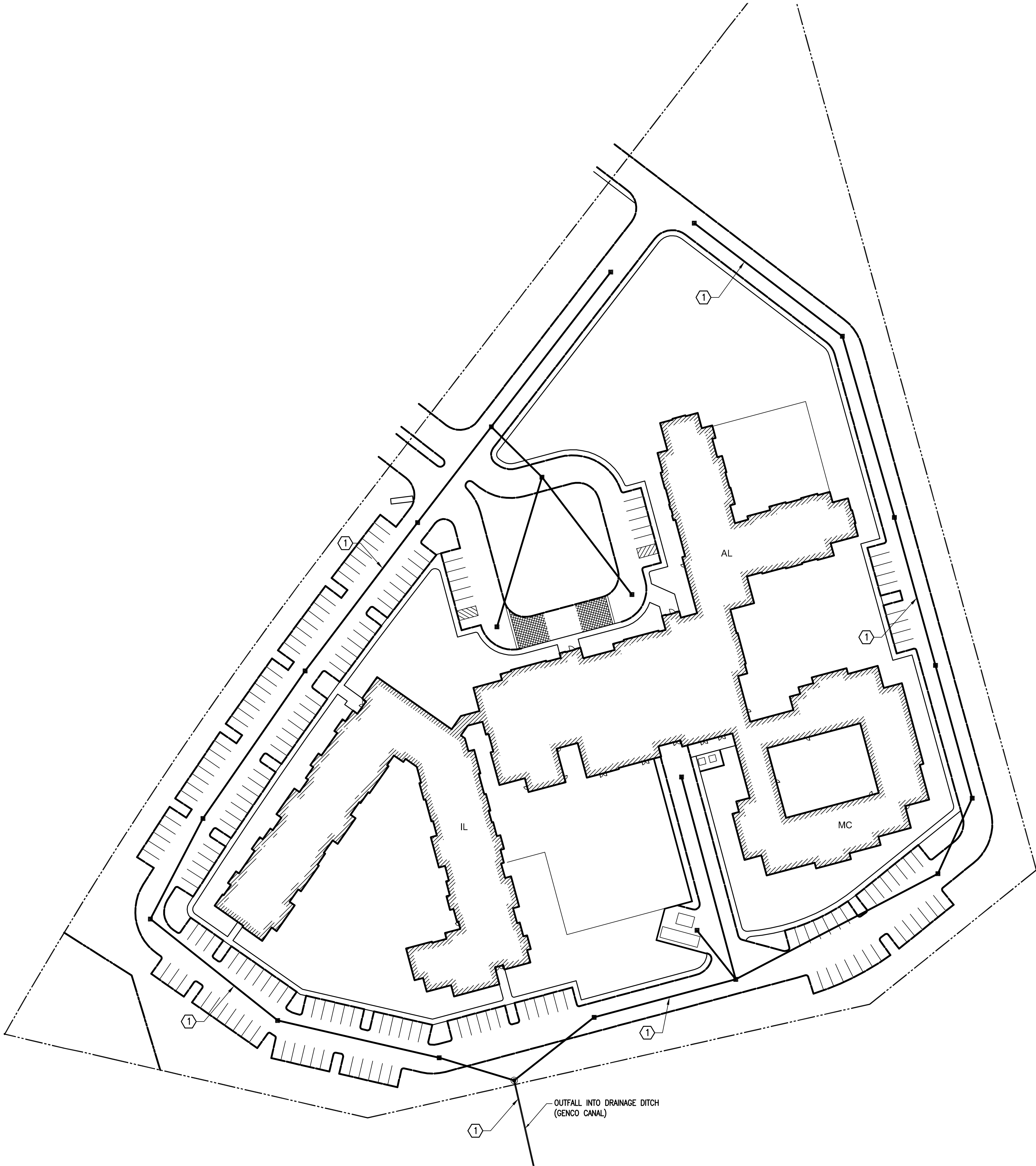
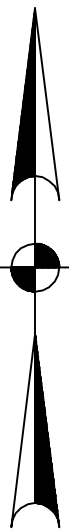
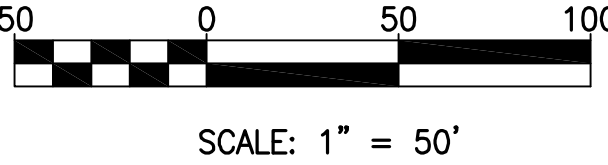


EXHIBIT - L.1
STORM SEWER PLAN



Benchmark:
LEAGUE CITY REFERENCE MARK LC-2005-105, ELEVATION 12.16', NAVD88,
2002 ADJ. (CORS)



LEGEND		
	EXISTING	PROPOSED
Curb	---	---
Edge of Pavement	---	---
R.O.W.	---	---
Curve Number		(C)
Storm Sewer/MH	---●---	---○---
Large Diam Storm Sewer/MH	---●---	---○---
Curb Inlet/Grate Inlet	---■---	---□---
Sanitary Sewer/MH/Cleanout	---●---	---○---
Large Diam Sanitary Sewer/MH	---●---	---○---
Water Line/Fire Hydrant/Valve	---x---	---x---
Gas	---	---
Electric	---	---
Phone	---	---
Fence	---x---	---x---
Contour	---90---	---90---
Slope	---	1% ---
Top of Pavement	---	TP 42.25
Top of Wall	---	TW 42.25
Finished Grade	---	FG 42.25
Top of Grate	---	TG 42.25
Flow Line	---	FL 42.25
Detail Number		5
Detail Sheet Number		C5.0

CONSTRUCTION NOTES:

① PROP STORM SEWER

3535 Travis St.
Suite 205
Dallas, Texas 75204
T 214.915.8410
www.prdgarch.com

LCS
DEVELOPMENT
an LCS Company

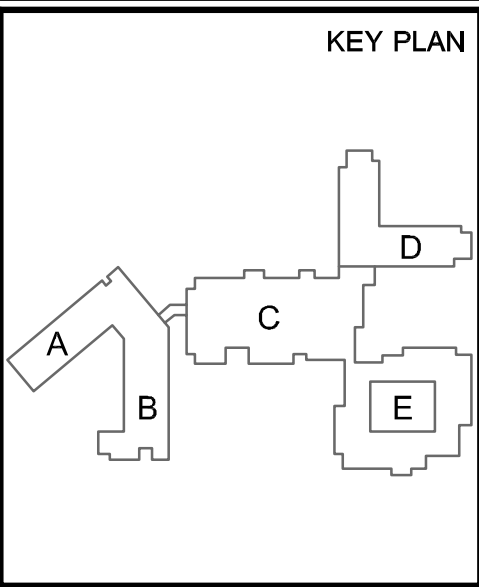
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WALTER P MOORE
WALTER P. MOORE AND ASSOCIATES, INC.
1301 MCKINNEY, SUITE 1100
HOUSTON, TEXAS 77010
PHONE: 713.630.7300 FAX: 713.630.7396

THE DELANEY™
AT SOUTH
SHORE HARBOR
LEAGUE CITY
PRDG PROJECT# 14030

DESIGN
DEVELOPMENT
JUNE 5, 2015

INTERIM REVIEW ONLY
Document Incomplete: Not intended
for permit or construction.
Engineer: SCOTT W. MAHAM, P.E.
P.E. Serial No.: 88571
Date: 06-05-2015
Walter P. Moore and Associates, Inc.
TBPE Firm Registration No. 1856



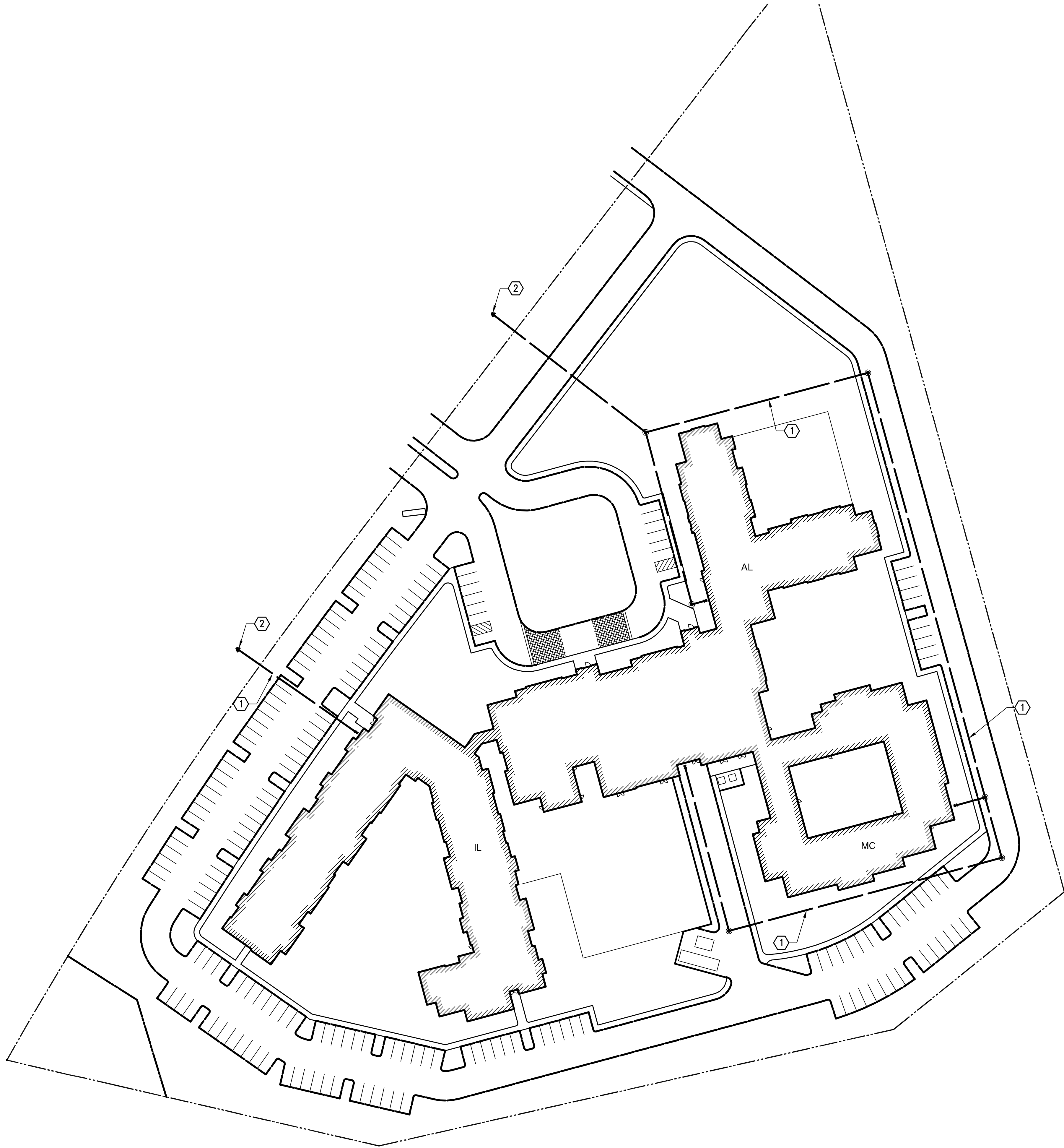
NO.	ISSUE	DATE
REVISIONS		

Title
CIVIL SITE
STORM SEWER
PLAN

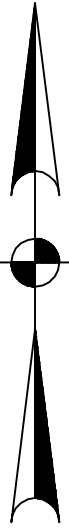
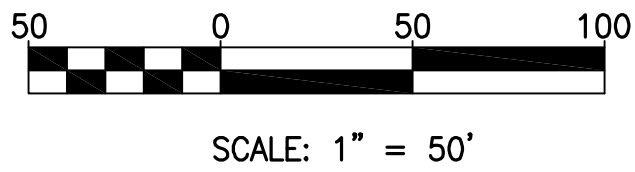
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EXHIBIT - L.2
SANITARY SEWER PLAN



Benchmark:
LEAGUE CITY REFERENCE MARK LC-2005-105, ELEVATION 12.16', NAVD88,
2002 ADJ. (CORS)



LEGEND

	EXISTING	PROPOSED
Curb	---	---
Edge of Pavement	---	---
R.O.W.	---	---
Curve Number		(C1)
Storm Sewer/MH	---●---	---○---
Large Diam Storm Sewer/MH	---●---	---○---
Curb Inlet/Grate Inlet	---■---	---□---
Sanitary Sewer/MH/Cleanout	---●---	---○---
Large Diam Sanitary Sewer/MH	---●---	---○---
Water Line/Fire Hydrant/Valve	---x---	---x---
Gas	---	---
Electric	---	---
Phone	---	---
Fence	---x---	---x---
Contour	---90---	---90---
Slope	---	1% 12
Top of Pavement	xTP41.07	TP 42.25
Top of Wall	xTW41.07	TW 42.25
Finished Grade	xFG41.07	FG 42.25
Top of Grate	xTG41.07	TG 42.25
Flow Line	xFL41.07	FL 42.25
Detail Number		5
Detail Sheet Number		C5.0

CONSTRUCTION NOTES:

- ① PROP SANITARY SEWER
② PROP TS&V

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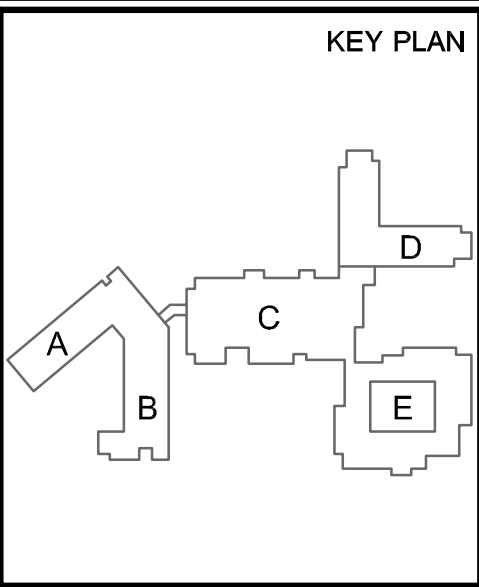
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an LCS Company
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Des Moines, IA 50309
T 515.875.4500
lcsnet.com

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1301 MCKINNEY, SUITE 1100
HOUSTON, TEXAS 77010
PHONE: 713.630.7300 FAX: 713.630.7396

THE DELANEY™
AT SOUTH
SHORE HARBOR
LEAGUE CITY
PRDG PROJECT# 14030

DESIGN
DEVELOPMENT
JUNE 5, 2015

INTERIM REVIEW ONLY
Document Incomplete: Not intended
for permit or construction.
Engineer: SCOTT W. MAHAM, P.E.
P.E. Serial No.: 88571
Date: 06-05-2015
Walter P. Moore and Associates, Inc.
TBPE Firm Registration No. 1856



NO.	ISSUE	DATE
REVISIONS		

Title
CIVIL SITE
SANITARY SEWER
PLAN

Sheet
C-201

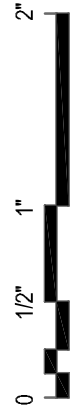
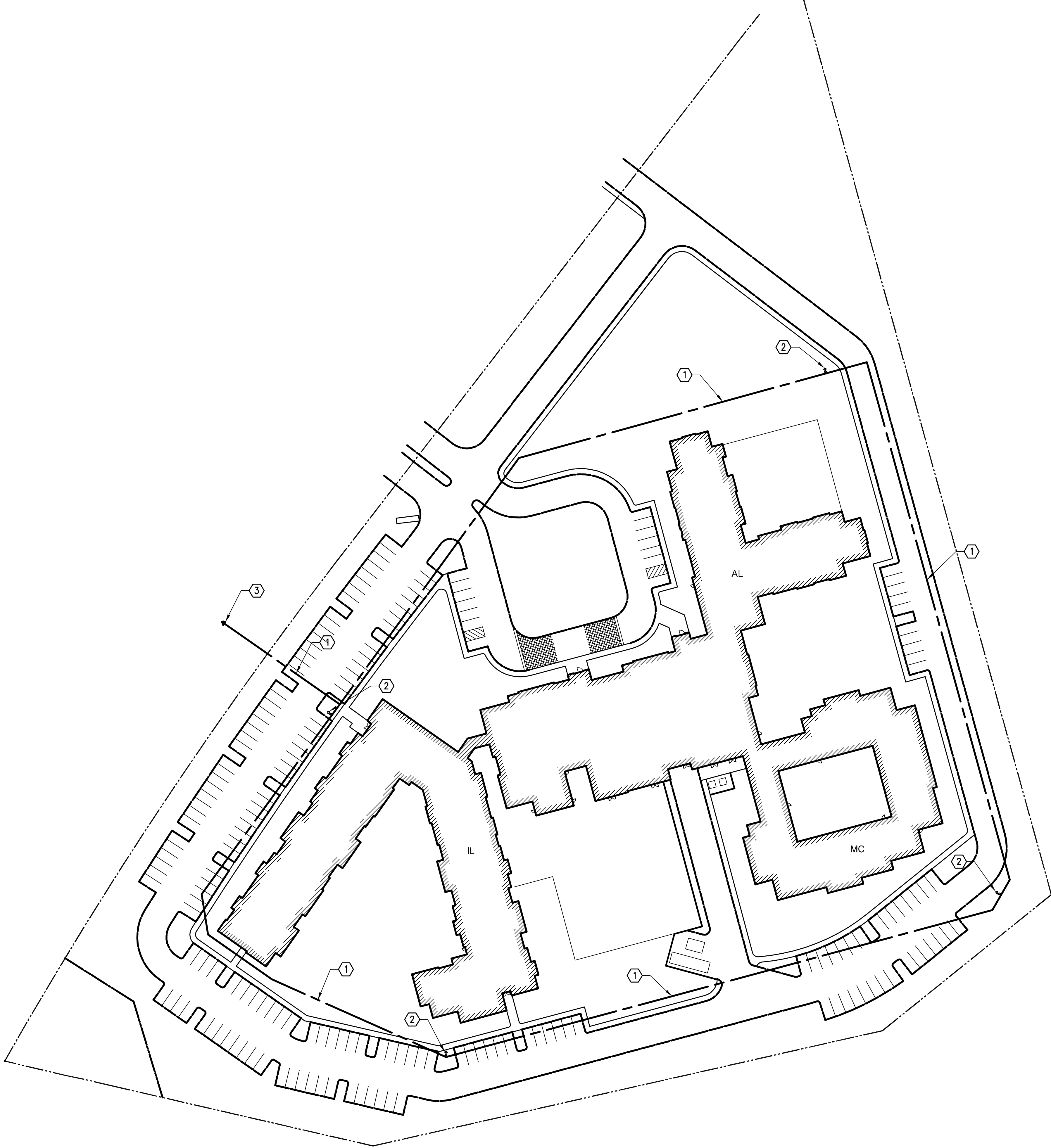
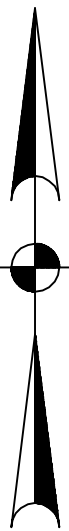
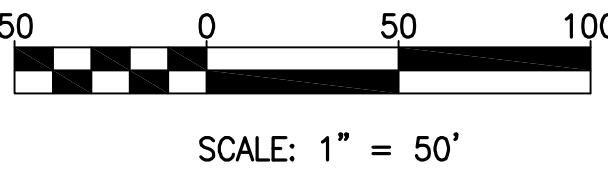


EXHIBIT - L.3
WATER MAIN PLAN



Benchmark:
LEAGUE CITY REFERENCE MARK LC-2005-105, ELEVATION 12.16', NAVD88,
2002 ADJ. (CORS)



LEGEND		
	EXISTING	PROPOSED
Curb	---	---
Edge of Pavement	---	---
R.O.W.	---	---
Curve Number		(C1)
Storm Sewer/MH	---●---	---○---
Large Diam Storm Sewer/MH	---●---	---○---
Curb Inlet/Grate Inlet	---■---	---□---
Sanitary Sewer/MH/Cleanout	---●---	---○---
Large Diam Sanitary Sewer/MH	---●---	---○---
Water Line/Fire Hydrant/Valve	---+---	---+---
Gas	---	---
Electric	---	---
Phone	---	---
Fence	---x---	---x---
Contour	---90---	---90---
Slope	---	---1%---
Top of Pavement		TP 42.25
Top of Wall		TW 42.25
Finished Grade		FG 42.25
Top of Grate		TG 42.25
Flow Line		FL 42.25
Detail Number		5
Detail Sheet Number		C5.0

CONSTRUCTION NOTES:

- ① PROP WATER LINE
② PROP FIRE HYDRANT
③ PROP TS&V

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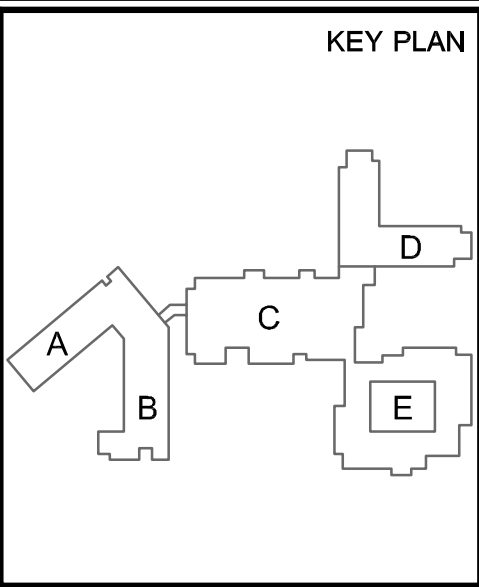
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THE DELANEY™
AT SOUTH
SHORE HARBOR
LEAGUE CITY
PRDG PROJECT# 14030

DESIGN
DEVELOPMENT
JUNE 5, 2015

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for permit or construction.
Engineer: SCOTT W. MAHAM, P.E.
P.E. Serial No.: 88571
Date: 06-05-2015
Walter P. Moore and Associates, Inc.
TBPE Firm Registration No. 1856



NO.	ISSUE	DATE
REVISIONS		

Title
CIVIL SITE
WATER LINE
PLAN

Sheet
C-202

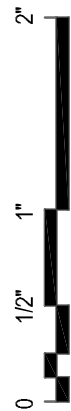
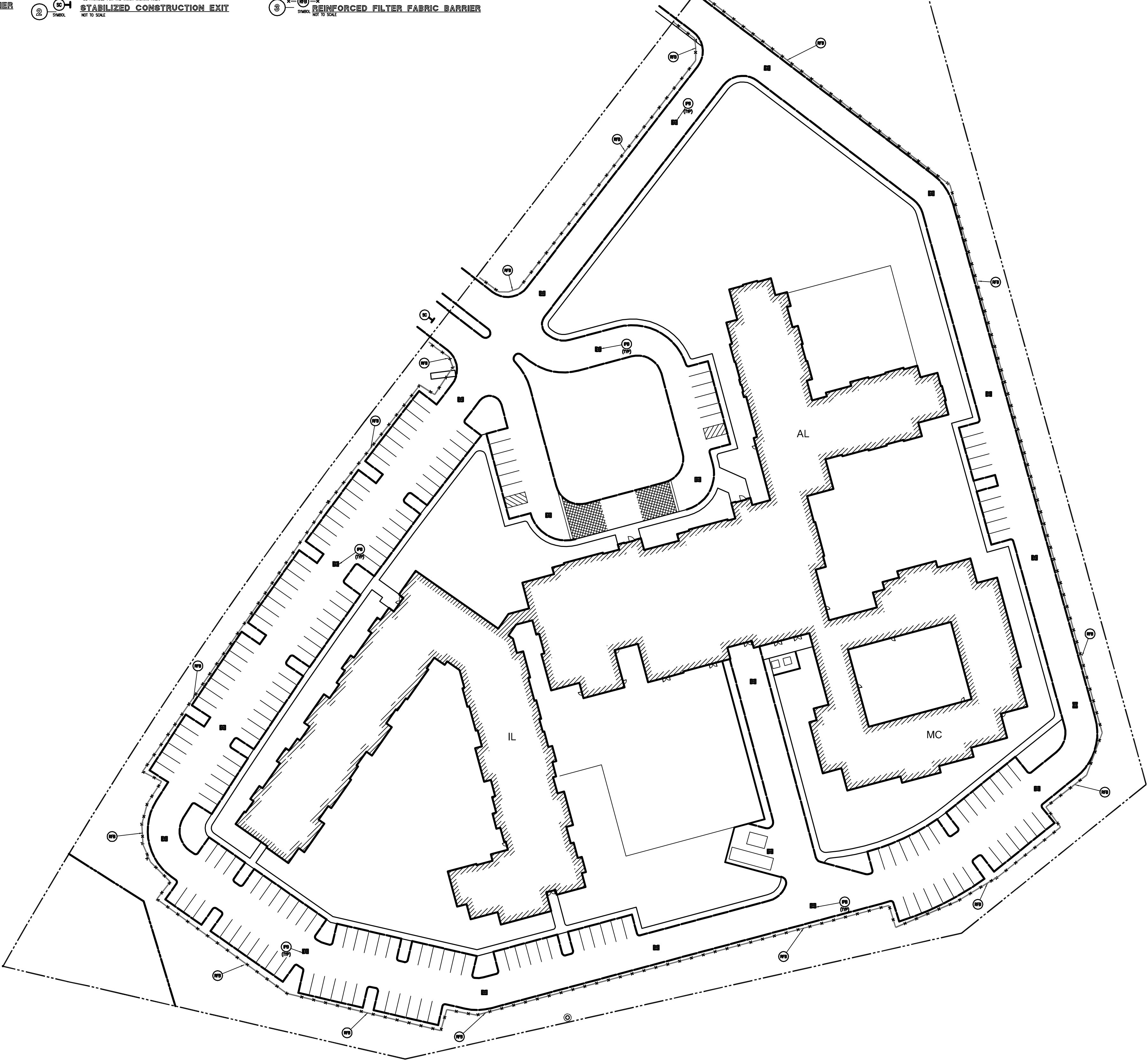
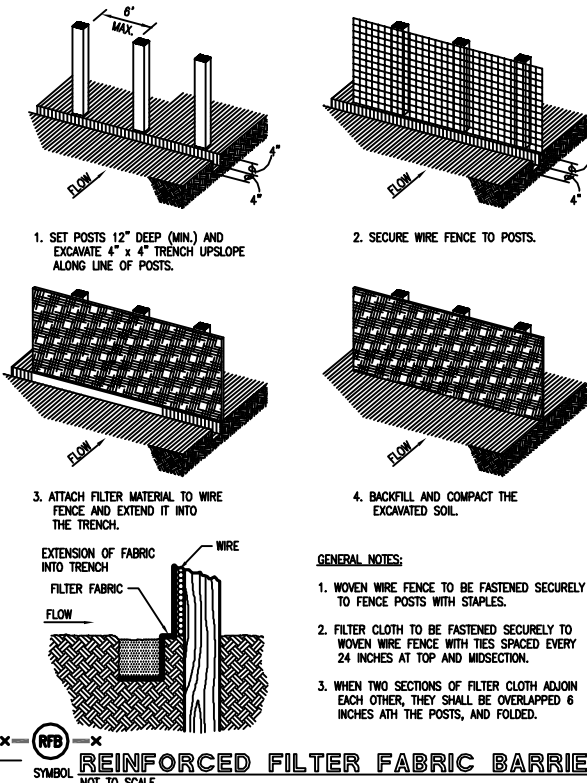
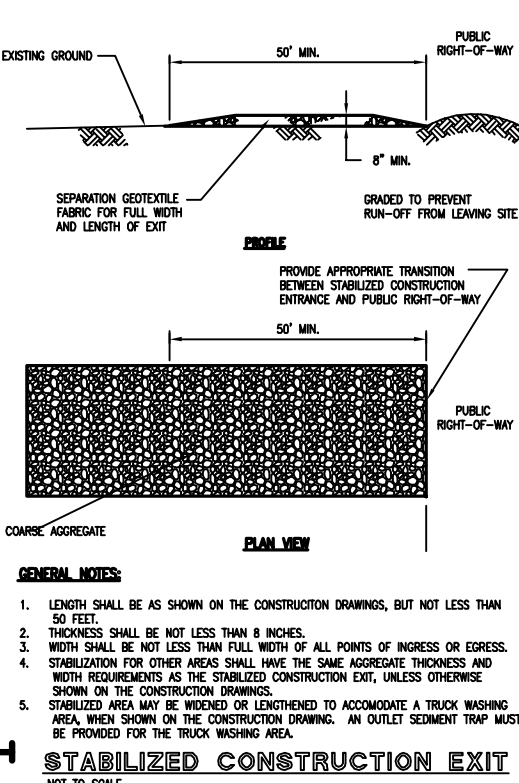
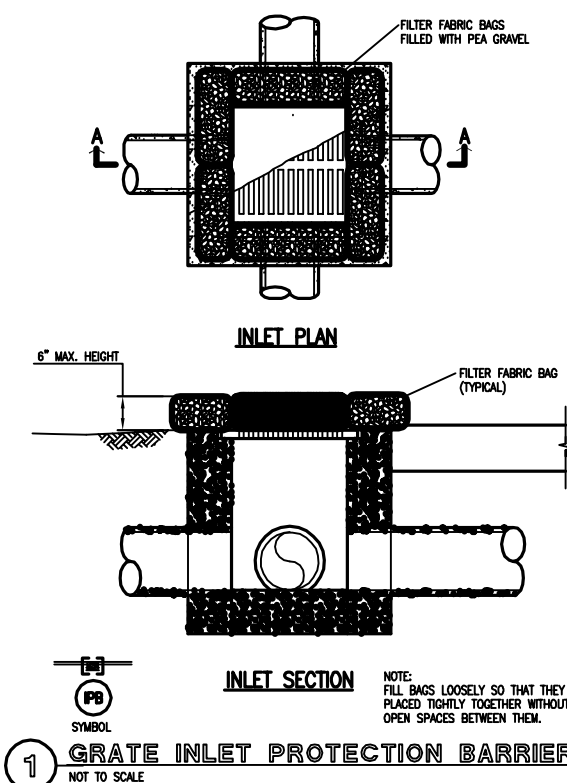
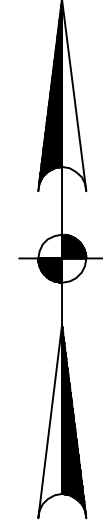
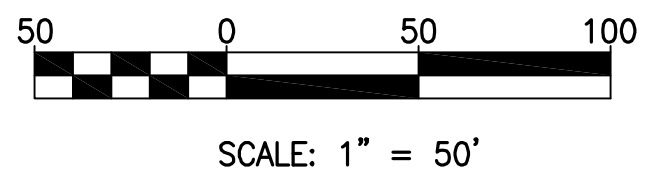


EXHIBIT - M
SWPPP



Benchmark:
LEAGUE CITY REFERENCE MARK LC-2005-105, ELEVATION 12.16', NAVD88,
2002 ADJ. (CORS)



LEGEND		
	EXISTING	PROPOSED
Curb	---	---
Edge of Pavement	---	---
R.O.W.	---	---
Curve Number		(C1)
Storm Sewer/MH	---	---
Large Diam Storm Sewer/MH	---	---
Curb Inlet/Grate Inlet	---	---
Sanitary Sewer/MH/Cleanout	---	---
Large Diam Sanitary Sewer/MH	---	---
Water Line/Fire Hydrant/Valve	---	---
Gas	---	---
Electric	---	---
Phone	---	---
Fence	---	---
Contour	---	---
Slope	---	---
Top of Pavement	---	TP 42.25
Top of Wall	---	TW 42.25
Finished Grade	---	FG 42.25
Top of Grate	---	TG 42.25
Flow Line	---	FL 42.25
Detail Number		5
Detail Sheet Number		C5.0

CONSTRUCTION NOTES:

- INLET PROTECTION BARRIER
- REINFORCED FILTER FABRIC BARRIER
- STABILIZED CONSTRUCTION EXIT

NOTES

- ALL AFFECTED INLETS SHALL BE PROTECTED BEFORE CONSTRUCTION ACTIVITIES BEGIN.
- SEDIMENT AND EROSION CONTROLS INCLUDING NON-STORMWATER DISCHARGES SHALL BE AS PER THE SPECIFICATIONS.

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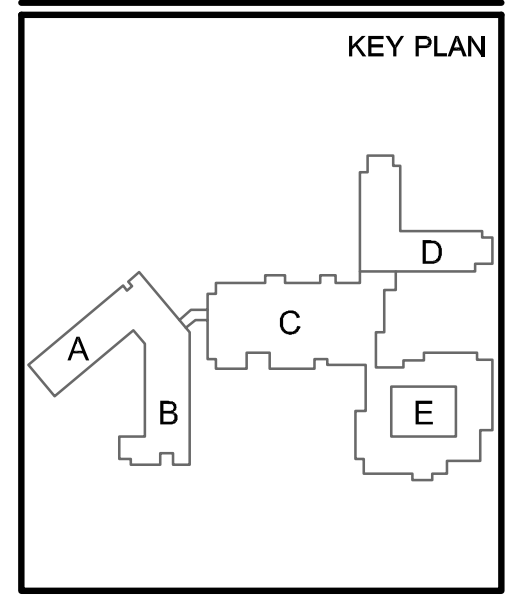
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THE DELANEY™
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DESIGN
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JUNE 5, 2015

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Walter P. Moore and Associates, Inc.
TBPE Firm Registration No. 1856



NO.	ISSUE	DATE

REVISIONS

Title
CIVIL SITE
SWPPP

Sheet
C-100

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EXHIBIT - N
NOTICE OF INTENT FOR
TCEQ

TCEQ Office Use Only

Permit No.:

RN:

CN:

Region:



TCEQ Notice of Intent (NOI) for Stormwater Discharges
Associated with Construction Activity under TPDES
General Permit (TXR150000)

IMPORTANT:

- Use the [INSTRUCTIONS](#) to fill out each question in this form.
- Use the [CHECKLIST](#) to make certain all you filled out all required information. Incomplete applications **WILL** delay approval or result in automatic denial.
- Once processed your permit can be viewed at:
http://www2.tceq.texas.gov/wq_dpa/index.cfm

ePERMITS: Sign up now for online NOI: <https://www3.tceq.texas.gov/steers/index.cfm>
Pay a \$225 reduced application fee by using ePermits.

APPLICATION FEE:

- You must pay the **\$325** Application Fee to TCEQ for the paper application to be complete.
- Payment and NOI must be mailed to separate addresses.
- Did you know you can pay on line?
 - Go to <https://www3.tceq.texas.gov/epay/index.cfm>
 - Select Fee Type: GENERAL PERMIT CONSTRUCTION STORM WATER DISCHARGE NOI APPLICATION
- **Provide your payment information below, for verification of payment:**
 - ☐ Mailed Check/Money Order No.: _____
Name Printed on Check: _____
 - ☐ EPAY Voucher No.: _____
 - Is the Payment Voucher copy attached? ☐ Yes

RENEWAL: Is this NOI a Renewal of an existing General Permit Authorization?
(Note: A permit cannot be renewed after June 3, 2013.)

- ☐ Yes The Permit number is: TXR15_____
- (If a permit number is not provided, a new number will be assigned.)
- ☒ No

1) OPERATOR (Applicant)

- a)** If the applicant is currently a customer with TCEQ, what is the Customer Number (CN) issued to this entity? You may search for your CN at:
<http://www12.tceq.texas.gov/crpub/index.cfm?fuseaction=cust.CustSearch>

CN _____

b) What is the Legal Name of the entity (applicant) applying for this permit?

(The legal name must be spelled exactly as filed with the Texas Secretary of State, County, or in the legal document forming the entity.)

c) What is the name and title of the person signing the application? The person must be an executive official meeting signatory requirements in TAC 305.44(a).

Prefix (Mr. Ms. Miss): _____

First/Last Name: _____ Suffix: _____

Title: _____ Credential: _____

d) What is the Operator Contact's (Responsible Authority) contact information and mailing address as recognized by the US Postal Service (USPS)? You may verify the address at:

<http://zip4.usps.com/zip4/welcome.jsp>

Phone #: _____ ext: _____ Fax #: _____

E-mail: _____

Mailing Address: _____

Internal Routing (Mail Code, Etc.): _____

City: _____ State: _____ ZIP Code: _____

If outside USA: Territory: _____ Country Code: _____ Postal Code: _____

e) Indicate the type of Customer (The instructions will help determine your customer type):

- | | | |
|---|--|--|
| <input type="checkbox"/> Individual | <input type="checkbox"/> Limited Partnership | <input type="checkbox"/> Sole Proprietorship-DBA |
| <input type="checkbox"/> Joint Venture | <input type="checkbox"/> General Partnership | <input type="checkbox"/> Corporation |
| <input type="checkbox"/> Trust | <input type="checkbox"/> Estate | <input type="checkbox"/> Federal Government |
| <input type="checkbox"/> State Government | <input type="checkbox"/> County Government | <input type="checkbox"/> City Government |
| <input type="checkbox"/> Other Government | | |

f) Independent Operator? ☐ Yes ☐ No
(If governmental entity, subsidiary, or part of a larger corporation, check "No".)

g) Number of Employees: ☐ 0-20; ☐ 21-100; ☐ 101-250; ☐ 251-500; or ☐ 501 or higher

h) Customer Business Tax and Filing Numbers:

(REQUIRED for Corporations and Limited Partnerships. Not Required for Individuals, Government, or Sole Proprietors)

State Franchise Tax ID Number: _____

Federal Tax ID: _____

Texas Secretary of State Charter (filing) Number: _____

DUNS Number (if known): _____

2) APPLICATION CONTACT

If TCEQ needs additional information regarding this application, who should be contacted?

Is the application contact the same as the applicant identified above?

☐ Yes, go to Section 3). ☒ No, complete section below.

Prefix (Mr. Ms. Miss): _____

First/Last Name: _____ Suffix: _____

Title: _____ Credential: _____

Organization Name: _____
Phone No.: _____ ext: _____ Fax Number: _____
E-mail: _____
Mailing Address: _____
Internal Routing (Mail Code, Etc.): _____
City: _____ State: _____ ZIP Code: _____
Mailing Information if outside USA:
Territory: _____ Country Code: _____ Postal Code: _____

3) REGULATED ENTITY (RE) INFORMATION ON PROJECT OR SITE

If the site of your business is part of a larger business site or if other businesses were located at this site before yours, a Regulated Entity Number (RN) may already be assigned for the larger site. Use the RN assigned for the larger site. Search TCEQ's Central Registry to see if the larger site may already be registered as a regulated site at:

<http://www12.tceq.texas.gov/crpub/index.cfm?fuseaction=regent.RNSearch>.

If the site is found, provide the assigned Regulated Entity Reference Number and provide the information for the site to be authorized through this application below. The site information for this authorization may vary from the larger site information.

- a) TCEQ issued RE Reference Number (RN): RN _____
- b) Name of project or site (the name known by the community where located):
The Delaney at South Shore Harbour _____
- c) In your own words, briefly describe the primary business of the Regulated Entity: (Do not repeat the SIC and NAICS code):
Senior living community _____
- d) County (or counties if > 1) Galveston _____
- e) Latitude: 29.533128 _____ Longitude: -95.069169 _____
- f) Does the site have a physical address?
☐ Yes, complete Section A for a physical address.
☒ No, complete Section B for site location information.

Section A: Enter the physical address for the site.

Verify the address with USPS. If the address is not recognized as a delivery address, provide the address as identified for overnight mail delivery, 911 emergency or other online map tools to confirm an address.

Physical Address of Project or Site:

Street Number: _____ Street Name: _____
City: _____ State: _____ ZIP Code: _____

Section B: Enter the site location information.

If no physical address (Street Number & Street Name), provide a written location access description to the site. (Ex.: located 2 miles west from intersection of Hwy 290 & IH35 accessible on Hwy 290 South)

Approx. 1/2 mile southwest of Marina Bay Dr & S. Shore Blvd intersection

City where the site is located or, if not in a city, what is the nearest city:

League City

State: Texas ZIP Code where the site is located: 77573

4) GENERAL CHARACTERISTICS

a) Is the project/site located on Indian Country Lands?

☐ Yes - If the answer is Yes, you must obtain authorization through EPA, Region 6.

☒ No

b) Is your construction activity associated with a facility that, when completed, would be associated with the exploration, development, or production of oil or gas or geothermal resources?

☐ Yes - If the answer is Yes, you may be under jurisdiction of the Railroad Commission of Texas and may need to obtain authorization through EPA, Region 6.

☒ No

c) What is the Primary Standard Industrial Classification (SIC) Code that best describes the construction activity being conducted at the site?

Primary SIC Code: 8361

d) If applicable, what is the Secondary SIC Code(s):

e) What is the total number of acres disturbed? 11.303

f) Is the project site part of a larger common plan of development or sale?

☐ Yes - If the answer is Yes, the total number of acres disturbed can be less than 5 acres.

☒ No - If the answer is No, the total number of acres disturbed must be 5 or more. If the total number of acres disturbed is less than 5 then the project site does not qualify for coverage through this Notice of Intent. Coverage will be denied. See the requirements in the general permit for small construction sites.

g) What is the name of the first water body(s) to receive the stormwater runoff or potential runoff from the site?

Clear Lake

h) What is the segment number(s) of the classified water body(s) that the discharge will eventually reach?

2425

i) Is the discharge into an MS4?

☐ Yes - If the answer is Yes, provide the name of the MS4 operator below.

☒ No

If Yes, provide the name of the MS4 operator:

Note: The general permit requires you to send a copy of the NOI to the MS4 operator.

j) Are any of the surface water bodies receiving discharges from the construction site on the latest EPA-approved CWA 303(d) List of impaired waters?

☐ Yes - If the answer is Yes, provide the name(s) of the impaired water body(s) below.

☒ No

If Yes, provide the name(s) of the impaired water body(s):

k) Is the discharge or potential discharge within the Recharge Zone, Contributing Zone, or Contributing Zone within the Transition Zone of the Edwards Aquifer as defined in 30 TAC Chapter 213?

☐ Yes - If the answer is Yes, complete certification below by checking "Yes."

☒ No

I certify that a copy of the TCEQ approved Plan required by the Edwards Aquifer Rule (30 TAC Chapter 213) is either included or referenced in the Stormwater Pollution Prevention Plan.

☐ Yes

5) CERTIFICATION

Check Yes to the certifications below. Failure to indicate Yes to **ALL** items may result in denial of coverage under the general permit.

- a) I certify that I have obtained a copy and understand the terms and conditions of the Construction General Permit (TXR150000). ☐ Yes
- b) I certify that the full legal name of the entity applying for this permit has been provided and is legally authorized to do business in Texas. ☐ Yes
- c) I understand that a Notice of Termination (NOT) must be submitted when this authorization is no longer needed. ☐ Yes
- d) I certify that a Stormwater Pollution Prevention Plan has been developed, will be implemented prior to construction and to the best of my knowledge and belief is compliant with any applicable local sediment and erosion control plans, as required in the general permit TXR150000. Note: For multiple operators who prepare a shared SWP3, the confirmation of an operator may be limited to its obligations under the SWP3 provided all obligations are confirmed by at least one operator. ☐ Yes

Operator Certification:

I, _____
Typed or printed name Title

certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

I further certify that I am authorized under 30 Texas Administrative Code 305.44 to sign and submit this document, and can provide documentation in proof of such authorization upon request.

Signature: _____ Date: _____
(Use blue ink)

WALTER P MOORE

EXHIBIT - O TRAFFIC IMPACT ANALYSIS

June 3, 2015

Earl Smith
Director
Engineering Department, Public Works
City of League City
1535 Dickinson Avenue
League City, Texas 77573

Re: The Delaney at South Shore Harbor
Walter P Moore Project No. C03-14055-00

Dear Mr. Smith:

Attached is a Form A and site plan for The Delaney at South Shore Harbor. The project is located at Marina Bay Drive at Constellation Boulevard. The proposed development includes three land uses: independent living (120 units), assisted living (55 units/61 beds), and memory care (32 units/36 beds) with 188 total parking spaces.

The number of trips expected to be generated by the project was determined based on the standard rates from the spreadsheet provided by the City of League City (attached to this letter). It is based on the Institute of Transportation Engineers (ITE) publication, *Trip Generation*, 8th Edition. ITE code 253 for independent living (120 unit) and ITE code 254 for assisted living (55 units/61 beds), and memory care (32 units/36 beds) were used to determine trip generation for the site. As shown on Form A, the proposed development will generate 21 AM peak hour trips, 42 PM peak hour trips, and 500 average daily trips. Based on the number of trips generated by the proposed site, it is our understanding that the proposed development does not require a Traffic Impact Analysis (TIA).

Please let me know if you have any additional questions or comments.

Sincerely,

WALTER P. MOORE AND ASSOCIATES, INC.



Jennifer L. Peek, P.E., PTOE, PTP
Principal

Walter P. Moore and Associates, Inc.
TBPE Firm Registration No. 1856



P:\C03\2014\14055-00 The Delaney at South Shore Harbor\Design & Studies\
Reports\Traffic Form A\Delaney_Form A Letter.docx

Handwritten signature and date:
JL Peek, PE
06-03-15



**CITY OF LEAGUE CITY
TRAFFIC IMPACT ANALYSIS/ACCESS MANAGEMENT
DATA SUMMARY
FORM A**

Check for whom all responses/questions should be directed (one or both):

☐ Property Owner

☒ Agent/Owner Representative

Submittal/Approvals

A scalable site plan layout with driveway locations indicating the extent of the access which the private property has or (is planned) to public streets must be submitted with the Form A. On-site traffic related features (loading docks, emergency lanes, driveway entrance/exits should be depicted on site plan. Types and locations of improvements should be placed as well.

Forms may be submitted at any time prior to or during Preliminary Plat and Final Site Plan submittal to the Development Review Committee.

Results of review/analysis will result in "Interpose no objection to Permitting" or "Requires submittal and approval of additional information prior to Permitting".

PROPERTY OWNER INFORMATION

Name: Lee G Lyles, VP/ Director of Project Development LCS

Address: 10021 Park Cedar Drive, Suite 400

City/State/Zip: Charlotte NC 28210

Telephone: 704 541-9818

Email Address:

AGENT/OWNER'S REPRESENTATIVE INFORMATION

Name: Jennifer L. Peek

Firm Name: Walter P Moore

Address: 1301 McKinney Suite 1100

City/State/Zip: Houston, TX 77379

Telephone: 713-630-7451

Email Address: jpeek@walterpmoore.com



**CITY OF LEAGUE CITY
TRAFFIC IMPACT ANALYSIS/ACCESS MANAGEMENT
DATA SUMMARY
FORM A (CONTINUED)**

SITE INFORMATION

Street Address (Primary Access): 2575 Marina Bay Drive, League City, Texas

Zip Code: 77573

Legal Description (if no street address): _____

Tract Size (Sq. Ft. or Acres): _____

Current Land Use (include # of units, square footage of improvements, etc.) Open Space

CURRENT TRIP GENERATION RATES

(Based on ITE Trip Generation Handbook or City of League City approved local rate)

ITE Land Use Classification: N/A AM Trip Rate: 0 PM Trip Rate: 0
(Code & Description)

AM Peak Hour Trips: 0 PM Peak Hour Trips: 0 Average Daily Traffic: 0
(Provide Trip Generation supporting documentation as applicable).

Proposed use to be made of the private property: (include proposed # of units, square footage of improvements, etc.) Independent Living (120 Units), Assisted living (55 Units /61 Beds), Memory Care (32 Units/36 Beds)

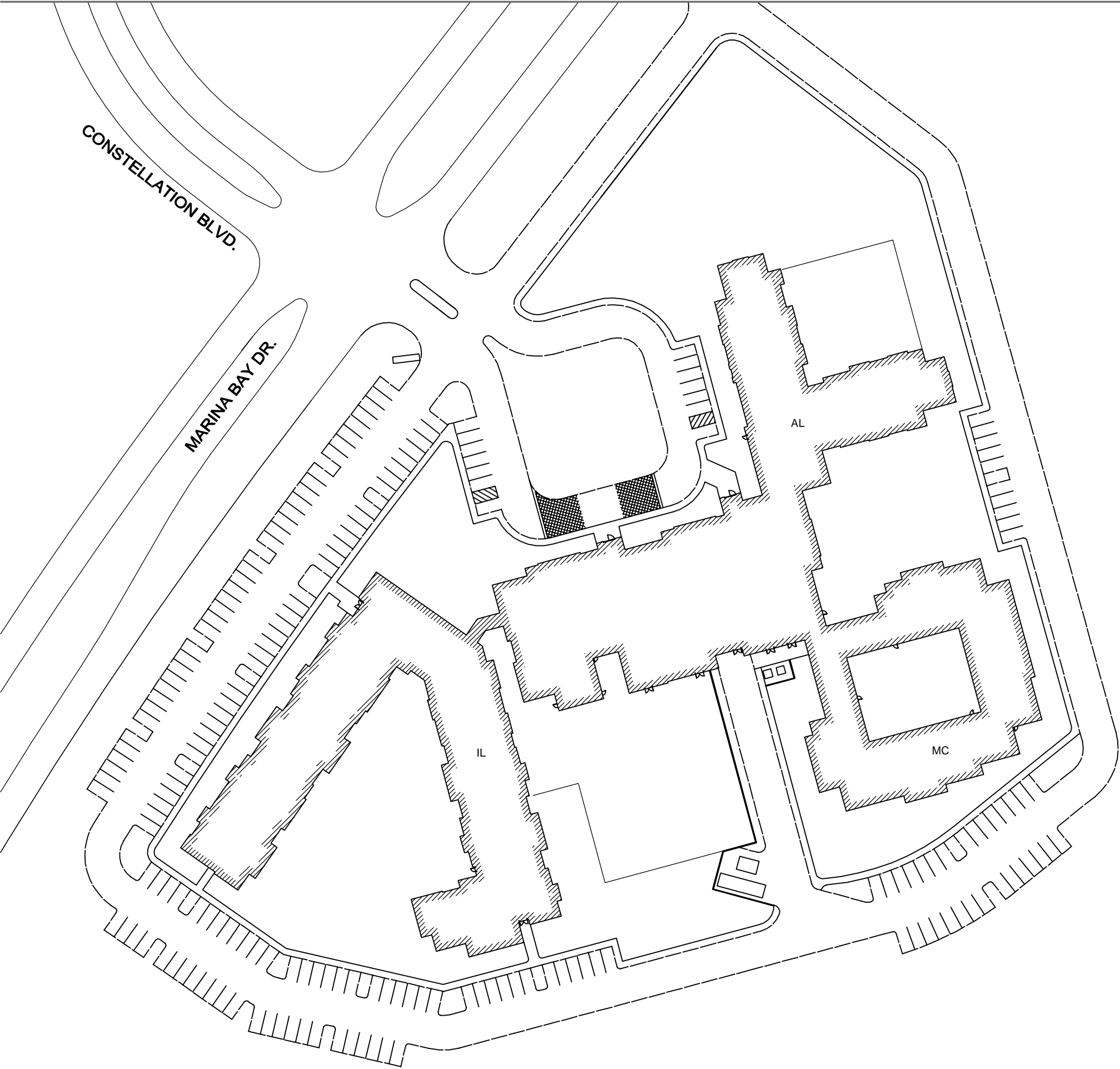
PROPOSED TRIP GENERATION RATES

(Based on ITE Trip Generation Handbook or City of League City approved local rate)

ITE Land Use Classification: 253, 254 AM Trip Rate: 0.06, 0.14 PM Trip Rate: 0.17, 0.22
(Code & Description)

AM Peak Hour Trips: 21 PM Peak Hour Trips: 42 Average Daily Traffic: 500
(Provide Trip Generation supporting documentation as applicable)

Jun 02, 2015 - 10:12am P:\C03\2014\14055-00 The Delaney at South Shore Harbor\Cad\Traffic\C03-14055-00-FORM A.dwg

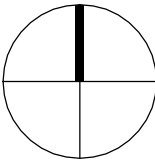


WALTER P MOORE

WALTER P. MOORE AND ASSOCIATES, INC.
1301 MCKINNEY, SUITE 1100
HOUSTON, TEXAS 77010

PHONE: 713.630.7300 FAX: 713.630.7396

PROJECT NAME



SCALE: 1" = 100'

THE DELANEY AT
SOUTH SHORE
HARBOUR

INTERIM REVIEW ONLY

Document Incomplete: Not intended
for permit or construction.

Engineer: JENNIFER L. PEEK, P.E.

P.E. Serial No.: 90254

Date: JUNE 2, 2015

Walter P. Moore and Associates, Inc.
TBPE Firm Registration No. 1856

NO.	DATE	REVISION
DESIGNED BY	JLP	
REVIEWED BY	JLP	
DRAWN BY	TME	
PROJECT NUMBER	C03-14055-00	
DATE	JUNE 2015	
SHEET TITLE		

SITE LAYOUT

SHEET NUMBER

FIGURE 1

Description/ITE Code	Units	ITE Vehicle Trip Generation Rates (peak hours are for peak hour of adjacent street traffic unless highlighted)								Expected Units	Total Generated Trips			Total Distribution of Generated Trips					
		Weekday	AM	PM	Pass-By	AM In	AM Out	PM In	PM Out		Daily	AM Hour	PM Hour	AM In	AM Out	Pass-By	PM In	PM Out	Pass-By
Waterport/Marine Terminal 010	Acres	11.93	NA	NA		NA	NA	NA	NA		0	NA	NA	NA	NA	0	NA	NA	0
Waterport/Marine Terminal 010	Berths	171.52	NA	NA		NA	NA	NA	NA		0	NA	NA	NA	NA	0	NA	NA	0
Commercial Airport 021	Employees	13.40	0.82	0.80		55%	45%	54%	46%		0	0	0	0	0	0	0	0	0
Commercial Airport 021	Avg Flights/Day	104.73	5.40	5.75		54%	46%	45%	55%		0	0	0	0	0	0	0	0	0
Commercial Airport 021	Com. Flights/Day	122.21	6.43	6.88		55%	45%	54%	46%		0	0	0	0	0	0	0	0	0
General Aviation Airport 022	Employees	14.24	0.69	1.03		83%	17%	45%	55%		0	0	0	0	0	0	0	0	0
General Aviation Airport 022	Avg. Flights/Day	1.97	0.24	0.30		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
General Aviation Airport 022	Based Aircraft	5.00	0.24	0.37		83%	17%	45%	55%		0	0	0	0	0	0	0	0	0
Truck Terminal 030	Acres	81.90	7.28	6.55		41%	59%	43%	57%		0	0	0	0	0	0	0	0	0
Truck Terminal 030	Employees	6.99	0.66	0.55		40%	60%	47%	53%		0	0	0	0	0	0	0	0	0
Park&Ride w/ Bus Service 090	Parking Spaces	4.50	0.72	0.62		81%	19%	23%	77%		0	0	0	0	0	0	0	0	0
Park&Ride w/ Bus Service 090	Acres	372.32	48.81	43.75		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Park&Ride w/ Bus Service 090	Occ. Spaces	9.62	1.26	0.81		69%	31%	28%	72%		0	0	0	0	0	0	0	0	0
Light Rail Station w/ Park. 093	Parking Space	2.51	1.07	1.24		80%	20%	58%	42%		0	0	0	0	0	0	0	0	0
Light Rail Station w/ Park. 093	Occ. Spaces	3.91	1.14	1.33		80%	20%	58%	42%		0	0	0	0	0	0	0	0	0
General Light Industrial 110	KSF ²	6.97	0.92	0.97		88%	12%	12%	88%		0	0	0	0	0	0	0	0	0
General Light Industrial 110	Acres	51.80	7.51	7.26		83%	17%	22%	78%		0	0	0	0	0	0	0	0	0
General Light Industrial 110	Employees	3.02	0.44	0.42		83%	17%	21%	79%		0	0	0	0	0	0	0	0	0
General Heavy Industrial 120	KSF ²	1.50	0.51	0.19		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
General Heavy Industrial 120	Acres	6.75	1.98	2.16		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
General Heavy Industrial 120	Employees	0.82	0.51	0.88		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Industrial Park 130	KSF ²	6.96	0.84	0.86		82%	18%	21%	79%		0	0	0	0	0	0	0	0	0
Industrial Park 130	Acres	63.11	8.55	8.84		83%	17%	21%	79%		0	0	0	0	0	0	0	0	0
Industrial Park 130	Employees	3.34	0.47	0.46		86%	14%	20%	80%		0	0	0	0	0	0	0	0	0
Manufacturing 140	KSF ²	3.82	0.73	0.73		78%	22%	36%	64%		0	0	0	0	0	0	0	0	0
Manufacturing 140	Acres	38.88	7.44	8.35		93%	7%	53%	47%		0	0	0	0	0	0	0	0	0
Manufacturing 140	Employees	2.13	0.40	0.36		73%	27%	44%	56%		0	0	0	0	0	0	0	0	0
Warehousing 150	KSF ²	3.56	0.30	0.32		79%	21%	25%	75%		0	0	0	0	0	0	0	0	0
Warehousing 150	Acres	57.23	10.03	8.69		72%	28%	35%	65%		0	0	0	0	0	0	0	0	0
Warehousing 150	Employees	3.89	0.51	0.59		72%	28%	35%	65%		0	0	0	0	0	0	0	0	0
Mini Warehouse 151	KSF ²	2.50	0.15	0.26		59%	41%	51%	49%		0	0	0	0	0	0	0	0	0
Mini Warehouse 151	Storage Units	0.25	0.02	0.02		67%	33%	NA	NA		0	0	0	0	0	NA	NA	0	0
Mini Warehouse 151	Acres	35.43	2.62	3.45		NA	NA	52%	48%		0	0	0	NA	NA	0	0	0	0
Mini Warehouse 151	Employees	61.90	5.26	6.04		67%	33%	52%	48%		0	0	0	0	0	0	0	0	0
High-Cube Warehouse 152	KSF ²	1.44	0.09	0.10		65%	35%	33%	67%		0	0	0	0	0	0	0	0	0
Utilities 170	KSF ²	NA	0.80	0.76		NA	NA	45%	55%		0	0	0	NA	NA	0	0	0	0
Utilities 170	Employees	NA	0.76	0.76		90%	10%	15%	85%		0	0	0	0	0	0	0	0	0
Single Family Homes 210	DU	9.57	0.75	1.01		25%	75%	63%	37%		0	0	0	0	0	0	0	0	0
Single Family Homes 210	Acres	26.04	2.06	2.74		31%	69%	66%	34%		0	0	0	0	0	0	0	0	0
Single Family Homes 210	Persons	2.55	0.21	0.28		31%	69%	66%	34%		0	0	0	0	0	0	0	0	0
Single Family Homes 210	Vehicles	6.02	0.51	0.67		31%	69%	66%	34%		0	0	0	0	0	0	0	0	0
Apartment 220	DU	6.65	0.51	0.62		20%	80%	65%	35%		0	0	0	0	0	0	0	0	0
Apartment 220	Persons	3.31	0.28	0.40		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Apartment 220	Vehicles	5.10	0.46	0.60		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Low Rise Apartment 221	Occ.DU	6.59	0.46	0.58		21%	79%	65%	35%		0	0	0	0	0	0	0	0	0
High Rise Apartment 222	DU	4.20	0.30	0.35		25%	75%	61%	39%		0	0	0	0	0	0	0	0	0
Mid-Rise Apartment 223	DU	NA	0.30	0.39		31%	69%	58%	42%		0	0	0	0	0	0	0	0	0
Rental Townhouse 224	DU	NA	0.70	0.72		33%	67%	51%	49%		0	0	0	0	0	0	0	0	0
Resd. Condo/Townhouse 230	DU	5.81	0.44	0.52		17%	83%	67%	33%		0	0	0	0	0	0	0	0	0
Resd. Condo/Townhouse 230	Persons	2.49	0.19	0.24		16%	84%	67%	33%		0	0	0	0	0	0	0	0	0
Resd. Condo/Townhouse 230	Vehicles	3.34	0.24	0.32		16%	84%	66%	34%		0	0	0	0	0	0	0	0	0
Low Rise Resd. Condo 231	DU	NA	0.67	0.78		25%	75%	58%	42%		0	0	0	0	0	0	0	0	0
High Rise Resd. Condo 232	DU	4.18	0.34	0.38		19%	81%	62%	38%		0	0	0	0	0	0	0	0	0
Luxury Condo/Townhouse 233	Occ. DU	NA	0.56	0.55		23%	77%	63%	37%		0	0	0	0	0	0	0	0	0
Mobile Home Park 240	Occ. DU	4.99	0.44	0.59		20%	80%	62%	38%		0	0	0	0	0	0	0	0	0

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		Weekday	AM	PM	Pass-By	AM In	AM Out	PM In	PM Out										
Mobile Home Park 240	Persons	2.46	0.20	0.26		18%	82%	63%	37%		0	0	0	0	0	0	0	0	0
Mobile Home Park 240	Acres	39.61	3.20	4.45		18%	82%	63%	37%		0	0	0	0	0	0	0	0	0
Mobile Home Park 240	Vehicles	3.38	0.27	0.36		16%	84%	63%	37%		0	0	0	0	0	0	0	0	0
Senior Adult Housing-Detached 251	DU	3.71	0.22	0.27		35%	65%	61%	39%		0	0	0	0	0	0	0	0	0
Senior Adult Housing- Attached 252	Occ.DU	3.48	0.13	0.16		36%	64%	60%	40%		0	0	0	0	0	0	0	0	0
Congregate Care Facility 253	Occ.DU	2.15	0.06	0.17		61%	39%	56%	44%		0	0	0	0	0	0	0	0	0
Congregate Care Facility 253	DU	2.02	0.06	0.17		59%	41%	55%	45%	120.0	242	7	20	4	3	0	11	9	0
Assisted Living 254	Occ. Beds	2.74	0.17	0.29		73%	27%	52%	48%		0	0	0	0	0	0	0	0	0
Assisted Living 254	Beds	2.66	0.14	0.22		65%	35%	44%	56%	97.0	258	14	21	9	5	0	9	12	0
Assisted Living 254	Employees	3.93	NA	0.55		NA	NA	NA	NA		0	NA	0	NA	NA	0	NA	NA	0
Retirement Community 255	Occ. Units	2.81	0.18	0.29		64%	36%	48%	52%		0	0	0	0	0	0	0	0	0
Recreational Homes 260	DU	3.16	0.16	0.26		67%	33%	41%	59%		0	0	0	0	0	0	0	0	0
Recreational Homes 260	Acres	1.33	0.07	0.11		67%	33%	41%	59%		0	0	0	0	0	0	0	0	0
Timeshare 265	DU	10.03	0.48	0.75		NA	NA	NA	NA		0	0		NA	NA	0	NA	NA	0
Residential PUD 270	DU	7.50	0.51	0.62		22%	78%	65%	35%		0	0	0	0	0	0	0	0	0
Residential PUD 270	Acres	46.78	2.88	4.05		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Hotel 310	Occ. Room	8.92	0.67	0.70		58%	42%	49%	51%		0	0	0	0	0	0	0	0	0
Hotel 310	Rooms	8.17	0.56	0.59		61%	39%	53%	47%		0	0	0	0	0	0	0	0	0
Hotel 310	Employees	14.34	0.69	0.80		60%	40%	54%	46%		0	0	0	0	0	0	0	0	0
All Suites Hotel 311	Occ.Room	6.24	0.48	0.55		67%	33%	42%	58%		0	0	0	0	0	0	0	0	0
All Suites Hotel 311	Rooms	4.90	0.38	0.40		55%	45%	45%	55%		0	0	0	0	0	0	0	0	0
Business Hotel 312	Occ. Room	7.27	0.58	0.62		59%	41%	60%	40%		0	0	0	0	0	0	0	0	0
Business Hotel 312	Employees	72.67	7.17	7.60		59%	41%	60%	40%		0	0	0	0	0	0	0	0	0
Motel 320	Occ.Room	9.11	0.64	0.58		36%	64%	53%	47%		0	0	0	0	0	0	0	0	0
Motel 320	Rooms	5.63	0.45	0.47		36%	64%	54%	46%		0	0	0	0	0	0	0	0	0
Motel 320	Employees	12.81	0.91	0.73		54%	46%	54%	46%		0	0	0	0	0	0	0	0	0
Resort Hotel 330	Occ. Room	13.43	0.37	0.49		72%	28%	43%	57%		0	0	0	0	0	0	0	0	0
Resort Hotel 330	Rooms	NA	0.31	0.42		72%	28%	43%	57%		0	0	0	0	0	0	0	0	0
Resort Hotel 330	Employees	13.58	0.15	0.25		69%	31%	40%	60%		0	0	0	0	0	0	0	0	0
City Park 411	Acres	1.59	NA	NA		NA	NA	NA	NA		0	NA	NA	NA	NA	0	NA	NA	0
City Park 411	Picnic Sites	5.87	NA	NA		NA	NA	NA	NA		0	NA	NA	NA	NA	0	NA	NA	0
County Park 412	Acres	2.28	0.01	0.06		80%	20%	41%	59%		0	0	0	0	0	0	0	0	0
State Park 413	Acres	0.65	NA	NA		NA	NA	NA	NA		0	NA	NA	NA	NA	0	NA	NA	0
State Park 413	Picnic Sites	9.95	NA	0.55		NA	NA	43%	57%		0	NA	0	NA	NA	0	0	0	0
State Park 413	Employees	42.55	NA	4.67		NA	NA	43%	57%		0	NA	0	NA	NA	0	0	0	0
Water Slide Park 414	Parking Space	2.27	0.08	0.28		70%	30%	21%	79%		0	0	0	0	0	0	0	0	0
Beach Park 415	Acres	29.81	0.48	1.30		59%	41%	29%	71%		0	0	0	0	0	0	0	0	0
Campground/RV Park 416	Acres	NA	0.48	0.98		42%	58%	69%	31%		0	0	0	0	0	0	0	0	0
Regional Park 417	Acres	4.57	0.15	0.20		57%	43%	45%	55%		0	0	0	0	0	0	0	0	0
Regional Park 417	Picnic Sites	61.82	4.00	9.60		75%	25%	41%	59%		0	0	0	0	0	0	0	0	0
Regional Park 417	Employees	79.77	4.59	10.26		65%	35%	45%	55%		0	0	0	0	0	0	0	0	0
National Monument 418	Acres	5.37	0.23	0.42		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
National Monument 418	Employees	31.05	3.05	5.58		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Marina 420	Berths	2.96	0.08	0.19		33%	67%	60%	40%		0	0	0	0	0	0	0	0	0
Marina 420	Acres	20.93	NA	NA		NA	NA	NA	NA		0	NA	NA	NA	NA	0	NA	NA	0
Golf Course 430	Acres	5.04	0.21	0.30		74%	26%	34%	66%		0	0	0	0	0	0	0	0	0
Golf Course 430	Employees	20.52	1.01	1.48		68%	32%	48%	52%		0	0	0	0	0	0	0	0	0
Golf Course 430	Holes	35.74	2.23	2.78		79%	21%	45%	55%		0	0	0	0	0	0	0	0	0
Miniature Golf Course 431	Holes	NA	NA	0.33		NA	NA	33%	67%		0	NA	0	NA	NA	0	0	0	0
Golf Driving Range 432	Tees	13.65	0.40	1.25		61%	39%	45%	55%		0	0	0	0	0	0	0	0	0
Batting Cages 433	Cages	NA	NA	2.22		NA	NA	55%	45%				0	NA	NA	0	0	0	0
Multipurpose Rec. Facility 435	Acres	90.38	1.92	5.77		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Bowling Alley 437	KSF ²	33.33	3.13	3.54		60%	40%	35%	65%		0	0	0	0	0	0	0	0	0
Live Theater 441	Seats	NA	NA	0.02		NA	NA	50%	50%		0	NA	0	NA	NA	0	0	0	0
Movie Theater w/o matinee 443	KSF ²	78.06	0.22	6.16		NA	NA	94%	6%		0	0	0	NA	NA	0	0	0	0
Movie Theater w/o matinee 443	Movie Screens	220.00	NA	24.00		NA	NA	41%	59%		0	NA	0	NA	NA	0	0	0	0
Movie Theater w/o matinee 443	Seats	1.76	0.01	0.07		NA	NA	75%	25%		0	0	0	NA	NA	0	0	0	0

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Movie Theater w/o matinee 443	Employees	53.12	0.15	4.20		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Movie Theater w/ matinee 444	KSF ²	99.28	NA	3.80		NA	NA	64%	36%		0	NA	0	NA	NA	0	0	0	0
Movie Theater w/ matinee 444	Movie Screens	546.86	NA	20.22		NA	NA	40%	60%		0	NA	0	NA	NA	0	0	0	0
Movie Theater w/ matinee 444	Seats	2.24	NA	0.07		NA	NA	39%	61%		0	NA	0	NA	NA	0	0	0	0
Multiplex Movie Theater 445	KSF ²	NA	NA	4.91		NA	NA	62%	38%		0	NA	0	NA	NA	0	0	0	0
Multiplex Movie Theater 445	Movie Screens	NA	NA	13.64		NA	NA	45%	55%		0	NA	0	NA	NA	0	0	0	0
Multiplex Movie Theater 445	Seats	NA	NA	0.08		NA	NA	36%	64%		0	NA	0	NA	NA	0	0	0	0
Horse Track 452	Acres	43.00	NA	NA		NA	NA	NA	NA		0	NA	NA	NA	NA	0	NA	NA	0
Horse Track 452	Employees	2.60	NA	NA		NA	NA	NA	NA		0	NA	NA	NA	NA	0	NA	NA	0
Dog Track 454	Attendees	NA	NA	0.15		NA	NA	8%	92%		0	NA	0	NA	NA	0	0	0	0
Arena 460	Acres	33.33	NA	NA		NA	NA	NA	NA		0	NA	NA	NA	NA	0	NA	NA	0
Arena 460	Employees	10.00	NA	NA		NA	NA	NA	NA		0	NA	NA	NA	NA	0	NA	NA	0
Ice Rink 465	Seats	1.26	NA	0.12		NA	NA	NA	NA		0	NA	0	NA	NA	0	NA	NA	0
Casino/Lottery Establishment 473	KSF ²	NA	NA	13.43		NA	NA	56%	44%		0	NA	0	NA	NA	0	0	0	0
Amusement Park 480	Acres	75.76	0.21	3.95		88%	12%	61%	39%		0	0	0	0	0	0	0	0	0
Amusement Park 480	Employees	8.33	0.03	0.50		88%	12%	61%	39%		0	0	0	0	0	0	0	0	0
Zoo 481	Acres	114.88	NA	NA		NA	NA	NA	NA		0	NA	NA	NA	NA	0	NA	NA	0
Zoo 481	Employees	23.93	NA	NA		NA	NA	NA	NA		0	NA	NA	NA	NA	0	NA	NA	0
Soccer Complex 488	Fields	71.33	1.40	20.67		50%	50%	69%	31%		0	0	0	0	0	0	0	0	0
Tennis Courts 490	Acres	16.26	0.81	1.38		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Tennis Courts 490	Courts	31.04	1.67	3.88		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Tennis Courts 490	Employees	66.67	3.33	5.67		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Racquet Club 491	Courts	38.70	1.31	3.35		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Racquet/Tennis Club 491	KSF ²	14.03	0.84	1.06		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Racquet/Tennis Club 491	Employees	45.71	1.86	4.95		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Health/Fitness Club 492	KSF ²	32.93	1.38	3.53		45%	55%	57%	43%		0	0	0	0	0	0	0	0	0
Athletic Club 493	KSF ²	43.00	2.97	5.96		61%	39%	62%	38%		0	0	0	0	0	0	0	0	0
Recreational Com. Center 495	KSF ²	22.88	1.62	1.45		61%	39%	37%	63%		0	0	0	0	0	0	0	0	0
Recreational Com. Center 495	Employees	27.25	2.66	2.44		72%	28%	27%	73%		0	0	0	0	0	0	0	0	0
Military Base 501	Employees	1.78	0.39	0.39		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Elementary School 520	Students	1.29	0.45	0.15		55%	45%	49%	51%		0	0	0	0	0	0	0	0	0
Elementary School 520	KSF ²	15.43	5.20	1.21		56%	44%	45%	55%		0	0	0	0	0	0	0	0	0
Elementary School 520	Employees	15.71	5.37	1.81		54%	46%	49%	51%		0	0	0	0	0	0	0	0	0
Middle/ JR. High School 522	Students	1.62	0.54	0.16		55%	45%	49%	51%		0	0	0	0	0	0	0	0	0
Middle/ JR. High School 522	KSF ²	13.78	4.35	1.19		55%	45%	52%	48%		0	0	0	0	0	0	0	0	0
High School 530	Students	1.71	0.42	0.13		68%	32%	47%	53%		0	0	0	0	0	0	0	0	0
High School 530	KSF ²	12.89	3.06	0.97		71%	29%	54%	46%		0	0	0	0	0	0	0	0	0
High School 530	Employees	19.74	4.68	1.55		70%	30%	54%	46%		0	0	0	0	0	0	0	0	0
Private School (K-8) 534	Students	NA	0.90	0.60		55%	45%	47%	53%		0	0	0	0	0	0	0	0	0
Private School (K-12) 536	Students	2.48	0.81	0.17		61%	39%	43%	57%		0	0	0	0	0	0	0	0	0
Junior/ Comm. College 540	Students	1.20	0.12	0.12		82%	18%	64%	36%		0	0	0	0	0	0	0	0	0
Junior/ Comm. College 540	KSF ²	27.49	2.99	2.54		74%	26%	58%	42%		0	0	0	0	0	0	0	0	0
Junior/ Comm. College 540	Employees	15.55	1.64	1.39		74%	26%	58%	42%		0	0	0	0	0	0	0	0	0
University/College 550	Students	2.38	0.21	0.21		80%	20%	30%	70%		0	0	0	0	0	0	0	0	0
University/College 550	Employees	9.13	0.73	0.88		82%	18%	29%	71%		0	0	0	0	0	0	0	0	0
Church 560	KSF ²	9.11	0.56	0.55		62%	38%	48%	52%		0	0	0	0	0	0	0	0	0
Synagogue 561	KSF ²	10.64	0.14	1.69		NA	NA	47%	53%		0	0	0	NA	NA	0	0	0	0
Daycare Center 565	KSF ²	79.26	12.26	12.46		53%	47%	47%	53%		0	0	0	0	0	0	0	0	0
Daycare Center 565	Students	4.48	0.80	0.82		53%	47%	47%	53%		0	0	0	0	0	0	0	0	0
Daycare Center 565	Employees	28.13	4.91	4.79		53%	47%	47%	53%		0	0	0	0	0	0	0	0	0
Cemetery 566	Acres	4.73	0.17	0.84		70%	30%	33%	67%		0	0	0	0	0	0	0	0	0
Cemetery 566	Employees	58.09	1.43	7.00		70%	30%	33%	67%		0	0	0	0	0	0	0	0	0
Prison 571	KSF ²	NA	7.27	2.91		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Prison 571	Employees	1.80	0.42	0.23		66%	34%	28%	72%		0	0	0	0	0	0	0	0	0
Library 590	KSF ²	56.24	1.04	7.30		71%	29%	48%	52%		0	0	0	0	0	0	0	0	0
Library 590	Employees	52.52	1.03	5.40		69%	31%	47%	53%		0	0	0	0	0	0	0	0	0

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Lodge/Fraternal Organization591	Members	0.29	0.01	0.03		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Lodge/Fraternal Organization591	Employees	46.90	2.10	4.05		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Hospital 610	KSF ²	16.50	1.12	1.14		59%	41%	42%	58%		0	0	0	0	0	0	0	0	0
Hospital 610	Beds	11.81	1.14	1.31		71%	29%	36%	64%		0	0	0	0	0	0	0	0	0
Hospital 610	Employees	5.20	0.33	0.33		72%	28%	31%	69%		0	0	0	0	0	0	0	0	0
Nursing Home 620	Beds	2.37	0.17	0.22		NA	NA	33%	67%		0	0	0	NA	NA	0	0	0	0
Nursing Home 620	Employees	6.55	0.19	0.80		69%	31%	NA	NA		0	0	0	0	0	0	NA	NA	0
Nursing Home 620	KSF ²	7.58	0.55	0.74		71%	29%	52%	48%		0	0	0	0	0	0	0	0	0
Clinic 630	KSF ²	31.45	NA	5.18		NA	NA	NA	NA		0	NA	0	NA	NA	0	NA	NA	0
Clinic 630	Employees	7.75	0.90	1.23		50%	50%	41%	59%		0	0	0	0	0	0	0	0	0
Animal/Veterinary Hospital/Clinic 640	KSF ²	NA	4.08	4.72		72%	28%	39%	61%				0	0	0	0	0	0	0
General Office 710 (Equation)	KSF ²	Equations				88%	12%	17%	83%		0	0	0	0	0	0	0	0	0
General Office 710	KSF ²	11.01	1.55	1.49		88%	12%	17%	83%		0	0	0	0	0	0	0	0	0
Corporate Headquarters 714	KSF ²	7.98	1.49	1.40		93%	7%	10%	90%		0	0	0	0	0	0	0	0	0
Corporate Headquarters 714	Employees	2.33	0.45	0.38		93%	7%	11%	89%		0	0	0	0	0	0	0	0	0
Single Tenant Office Bldg 715	KSF ²	11.57	1.80	1.73		89%	11%	15%	85%		0	0	0	0	0	0	0	0	0
Single Tenant Office Bldg 715	Employees	3.62	0.53	0.50		89%	11%	15%	85%		0	0	0	0	0	0	0	0	0
Medical Dental Office 720	KSF ²	36.13	2.30	3.46		79%	21%	27%	73%		0	0	0	0	0	0	0	0	0
Medical Dental Office 720	Employees	8.91	0.53	1.06		79%	21%	34%	66%		0	0	0	0	0	0	0	0	0
Government Office Building 730	KSF ²	68.93	5.88	1.21		84%	16%	31%	69%		0	0	0	0	0	0	0	0	0
Government Office Building 730	Employees	11.95	1.02	1.91		84%	16%	74%	26%		0	0	0	0	0	0	0	0	0
State Motor Vehicles Dept. 731	KSF ²	166.02	9.84	17.09		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
State Motor Vehicles Dept. 731	Employees	44.54	2.64	4.58		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
US Post Office 732	KSF ²	108.19	8.21	11.12		52%	48%	51%	49%		0	0	0	0	0	0	0	0	0
US Post Office 732	Employees	28.32	2.01	2.84		52%	48%	51%	49%		0	0	0	0	0	0	0	0	0
Gov. Office Complex 733	KSF ²	27.92	2.21	2.85		89%	11%	31%	69%		0	0	0	0	0	0	0	0	0
Gov. Office Complex 733	Employees	7.75	0.61	0.79		89%	11%	31%	69%		0	0	0	0	0	0	0	0	0
Office Park 750	KSF ²	11.42	1.71	1.48		89%	11%	14%	86%		0	0	0	0	0	0	0	0	0
Office Park 750	Employees	3.50	0.43	0.39		92%	8%	15%	85%		0	0	0	0	0	0	0	0	0
Office Park 750	Acres	195.11	25.65	28.28		92%	8%	15%	85%		0	0	0	0	0	0	0	0	0
R&D Center 760	KSF ²	8.11	1.22	1.07		83%	17%	15%	85%		0	0	0	0	0	0	0	0	0
R&D Center 760	Employees	2.77	0.43	0.41		86%	14%	10%	90%		0	0	0	0	0	0	0	0	0
R&D Center 760	Acres	79.61	16.77	15.44		84%	16%	12%	88%		0	0	0	0	0	0	0	0	0
Business Park 770	KSF ²	12.76	1.43	1.29		84%	16%	23%	77%		0	0	0	0	0	0	0	0	0
Business Park 770	Employees	4.04	0.45	0.39		85%	15%	22%	78%		0	0	0	0	0	0	0	0	0
Business Park 770	Acres	149.79	18.86	16.84		85%	15%	20%	80%		0	0	0	0	0	0	0	0	0
Building Materials/Lumber 812	KSF ²	45.16	2.60	4.49		67%	33%	47%	53%		0	0	0	0	0	0	0	0	0
Building Materials/Lumber 812	Employees	32.12	2.42	2.77		62%	38%	51%	49%		0	0	0	0	0	0	0	0	0
Free Standing Discount Superstore 814	KSF ²	53.13	1.67	4.61	28%	56%	44%	49%	51%		0	0	0	0	0	0	0	0	0
Specialty Retail Center 814	KSF ²	44.32	6.84	2.71		48%	52%	44%	56%		0	0	0	0	0	0	0	0	0
Specialty Retail Center 814	Employees	22.36	NA	NA		NA	NA	NA	NA		0	NA	NA	NA	NA	0	NA	NA	0
Free-Standing Discount Store 815	KSF ²	57.24	1.06	5.00	17%	68%	32%	50%	50%		0	0	0	0	0	0	0	0	0
Free-Standing Discount Store 815	Employees	28.84	0.51	3.48	17%	66%	34%	50%	50%		0	0	0	0	0	0	0	0	0
Hardware/Paint Store 816	KSF ²	51.29	1.08	4.84	26%	NA	NA	47%	53%		0	0	0	NA	NA	0	0	0	0
Hardware/Paint Store 816	Employees	53.21	1.13	5.05	26%	NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Hardware/Paint Store 816	Acres	545.77	11.54	51.79	26%	NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Nursery (Garden Center) 817	KSF ²	36.08	1.31	3.80		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Nursery (Garden Center) 817	Employees	22.13	0.69	1.99		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Nursery (Garden Center) 817	Acres	96.21	2.59	7.52		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Nursery (Wholesale) 818	KSF ²	39.00	2.40	5.17		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Nursery (Wholesale) 818	Employees	23.40	0.34	0.47		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Nursery (Wholesale) 818	Acres	19.50	0.26	0.45		NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Shopping Center 820 (Equation)	KSF ²	Equations			34%	61%	39%	49%	51%		0	0	0	0	0	0	0	0	0
Shopping Center 820 Rate	KSF ²	42.94	1.00	3.73	34%	61%	39%	49%	51%		0	0	0	0	0	0	0	0	0

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Factory Outlet Center 823	KSF ²	26.59	0.67	2.29		73%	27%	47%	53%		0	0	0	0	0	0	0	0	0
New Car Sales 841	KSF ²	33.34	2.03	2.59		74%	26%	39%	61%		0	0	0	0	0	0	0	0	0
New Car Sales 841	Employees	21.14	0.67	0.96		44%	56%	48%	52%		0	0	0	0	0	0	0	0	0
Automobile Parts Sales 843	KSF ²	61.91	2.21	5.98	43%	NA	NA	49%	51%		0	0	0	NA	NA	0	0	0	0
Tire Store 848	Service Bays	NA	2.10	3.54	28%	64%	36%	42%	58%		0	0	0	0	0	0	0	0	0
Tire Store 848	KSF ²	24.87	2.89	4.15	28%	63%	37%	43%	57%		0	0	0	0	0	0	0	0	0
Tire Superstore 849	Service Bays	30.55	2.01	3.17		65%	35%	47%	53%		0	0	0	0	0	0	0	0	0
Tire Superstore 849	KSF ²	20.36	1.34	2.11		65%	35%	47%	53%		0	0	0	0	0	0	0	0	0
Supermarket 850	KSF ²	102.24	3.59	10.50	36%	61%	39%	51%	49%		0	0	0	0	0	0	0	0	0
Convenience. Mkt. (Open 24 hrs) 851	KSF ²	737.99	67.03	52.41	61%	50%	50%	51%	49%		0	0	0	0	0	0	0	0	0
Convenience. Mkt. (Open 16 Hrs) 852	KSF ²	NA	31.02	34.57		50%	50%	49%	51%		0	0	0	0	0	0	0	0	0
Convenience. Mkt w/ Gas Pumps 853	KSF ²	845.60	43.90	59.69	66%	50%	50%	50%	50%		0	0	0	0	0	0	0	0	0
Convenience. Mkt w/ Gas Pumps 853	Fuel Position	542.60	16.57	19.07	66%	50%	50%	50%	50%		0	0	0	0	0	0	0	0	0
Discount Supermarket 854	KSF ²	96.82	2.74	8.90	23%	58%	42%	50%	50%		0	0	0	0	0	0	0	0	0
Discount Club 857	KSF ²	41.80	0.56	4.24		71%	29%	50%	50%		0	0	0	0	0	0	0	0	0
Discount Club 857	Employees	32.21	0.36	2.79		77%	23%	48%	52%		0	0	0	0	0	0	0	0	0
Wholesale Market 860	KSF ²	6.73	0.51	0.88		67%	33%	53%	47%		0	0	0	0	0	0	0	0	0
Sporting Goods Superstore 861	KSF ²	NA	NA	3.10		NA	NA	47%	53%		0	NA	0	NA	NA	0	0	0	0
Home Improvement Superstore 862	KSF ²	29.80	1.26	2.37	48%	57%	43%	48%	52%		0	0	0	0	0	0	0	0	0
Electronics Superstore 863	KSF ²	45.04	0.28	4.50	40%	NA	NA	49%	51%		0	0	0	NA	NA	0	0	0	0
Toy/Children's Superstore 864	KSF ²	NA	NA	4.99		NA	NA	50%	50%		0	NA	0	NA	NA	0	0	0	0
Baby Superstore 865	KSF ²	NA	NA	1.82		NA	NA	50%	50%		0	NA	0	NA	NA	0	0	0	0
Pet Supply Superstore 866	KSF ²	NA	NA	3.38		NA	NA	50%	50%		0	NA	0	NA	NA	0	0	0	0
Office Supply Superstore 867	KSF ²	NA	NA	3.40		NA	NA	53%	47%		0	NA	0	NA	NA	0	0	0	0
Book Superstore 868	KSF ²	NA	NA	19.53		NA	NA	52%	48%		0	NA	0	NA	NA	0	0	0	0
Discount Home Furn. Superstore 869	KSF ²	20.00	0.57	1.57		64%	36%	53%	47%		0	0	0	0	0	0	0	0	0
Bed & Linen Superstore 872	KSF ²	NA	NA	2.22		NA	NA	41%	59%		0	NA	0	NA	NA	0	0	0	0
Department Store 875	KSF ²	22.88	0.53	1.78		60%	40%	50%	50%		0	0	0	0	0	0	0	0	0
Apparel Store 876	KSF ²	66.40	1.00	3.83		80%	20%	50%	50%		0	0	0	0	0	0	0	0	0
Arts & Crafts Store 879	KSF ²	56.55	4.65	6.21		49%	51%	46%	54%		0	0	0	0	0	0	0	0	0
Pharmacy/Drug. w/o Drive-Thru 880	KSF ²	90.06	3.20	8.42	53%	59%	41%	50%	50%		0	0	0	0	0	0	0	0	0
Pharmacy/Drugstore w/ Drive-Thru 881	KSF ²	88.16	2.66	10.35	49%	57%	43%	50%	50%		0	0	0	0	0	0	0	0	0
Furniture Store 890	KSF ²	5.06	0.17	0.45	53%	69%	31%	48%	52%		0	0	0	0	0	0	0	0	0
Furniture Store 890	Employees	12.19	0.48	1.10	53%	NA	NA	NA	NA		0	0	0	NA	NA	0	NA	NA	0
Video Rental Store 896	KSF ²	NA	NA	13.60		NA	NA	46%	54%		0	NA	0	NA	NA	0	0	0	0
Video Rental Store 896	Employees	NA	NA	6.00		NA	NA	NA	NA		0	NA	0	NA	NA	0	NA	NA	0
Walk-in Bank 911	KSF ²	NA	NA	12.13		NA	NA	44%	56%		0	NA	0	NA	NA	0	0	0	0
Drive-in Bank 912	Drive-in Lanes	139.25	9.44	27.41	47%	58%	42%	49%	51%		0	0	0	0	0	0	0	0	0
Drive-in Bank 912	KSF ²	148.15	12.35	25.82	47%	56%	44%	50%	50%		0	0	0	0	0	0	0	0	0
Hair Salon 918	KSF ²	NA	1.21	1.45		100%	0%	17%	83%		0	0	0	0	NA	0	0	0	0
Copy,Print & Express Ship Sore 920	KSF ²	NA	2.78	7.41		75%	25%	44%	56%		0	0	0	0	0	0	0	0	0
Copy,Print & Express Ship Sore 920	Employees	NA	1.50	4.00		75%	25%	44%	56%		0	0	0	0	0	0	0	0	0
Drinking Place 925	KSF ²	NA	NA	11.34		NA	NA	66%	34%		0	NA	0	NA	NA	0	0	0	0
Quality Restaurant 931	KSF ²	89.95	0.81	7.49	44%	NA	NA	67%	33%		0	0	0	NA	NA	0	0	0	0
Quality Restaurant 931	Seats	2.86	0.03	0.26	44%	NA	NA	67%	33%		0	0	0	NA	NA	0	0	0	0
High Turnover/Sit Down Rest 932	KSF ²	127.15	11.52	11.15	43%	52%	48%	59%	41%		0	0	0	0	0	0	0	0	0
High Turnover/Sit Down Rest 932	Seats	4.83	0.47	0.41	43%	52%	48%	57%	43%		0	0	0	0	0	0	0	0	0
Fast Food w/o Drive Thru 933	KSF ²	716.00	43.87	26.15		60%	40%	51%	49%		0	0	0	0	0	0	0	0	0

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Fast Food w/o Drive Thru 933	Seats	42.12	NA	2.13		NA	NA	64%	36%		0	NA	0	NA	NA	0	0	0	0
Fast Food with Drive Thru 934	KSF ²	496.12	49.35	33.48	50%	51%	49%	52%	48%		0	0	0	0	0	0	0	0	0
Fast Food with Drive Thru 934	Seats	19.52	1.32	0.94	50%	53%	47%	53%	47%		0	0	0	0	0	0	0	0	0
Fast Food Drive Thru Only 935	KSF ²	NA	NA	153.85	89%	NA	NA	54%	46%		0	NA	0	NA	NA	0	0	0	0
Coffee/Donut Shop w/o Drive Thru 936	KSF ²	NA	117.23	40.75		51%	49%	50%	50%		0	0	0	0	0	0	0	0	0
Coffee/Donut Shop w/ Drive Thru 937	KSF ²	818.58	110.75	42.93		51%	49%	50%	50%		0	0	0	0	0	0	0	0	0
Coffee/Donut Drive Thru Only 938	KSF ²	1800.00	303.33	75.00	89%	50%	50%	50%	50%		0	0	0	0	0	0	0	0	0
Bread/Bagel Shop w/o Drive Thru 939	KSF ²	NA	70.22	28.00		47%	53%	50%	50%		0	0	0	0	0	0	0	0	0
Bread/Bagel Shop w/ Drive Thru 940	KSF ²	NA	36.92	19.56		50%	50%	50%	50%		0	0	0	0	0	0	0	0	0
Quick Lube Vehicle Shop 941	Service Bays	40.00	3.00	5.19		67%	33%	55%	45%		0	0	0	0	0	0	0	0	0
Automobile Care Center 942	Service Bays	12.48	1.52	2.17		68%	32%	NA	NA		0	0	0	0	0	0	NA	NA	0
Automobile Care Center 942	KSF ²	15.86	2.94	3.38		65%	35%	50%	50%		0	0	0	0	0	0	0	0	0
Automobile Parts & Service Center 943	KSF ²	NA	NA	4.46		NA	NA	42%	58%				0	NA	NA	0	0	0	0
Gasoline/Service Station 944	Fuel Position	168.56	12.16	13.87	42%	51%	49%	50%	50%		0	0	0	0	0	0	0	0	0
Serv.Station w/ Conven.Mkt 945	Fuel Position	162.78	10.16	13.38	56%	50%	50%	50%	50%		0	0	0	0	0	0	0	0	0
Serv.Stat.w/Conv.Mkt.&Carwash 946	Fuel Position	152.84	11.93	13.94		51%	49%	51%	49%		0	0	0	0	0	0	0	0	0
Self-Service Carwash 947	Stalls	108.00	8.00	5.54		50%	50%	51%	49%		0	0	0	0	0	0	0	0	0
Automated Car Wash 948	KSF ²	NA	NA	14.12		NA	NA	51%	49%		0	NA	0	NA	NA	0	0	0	0
											500	21	42	13	8	0	21	21	0

RED Rates = CAUTION - Use Carefully - Small Sample Size

Green Rates = Peak Hour of Generator - (no peak rate for the rush hour of adjacent street traffic)

Blue Rates = Saturday Daily total - (no weekday daily rate)

*Pass-By % are Rates from Weekday PM Peak Period

*The Total Pass-By Trips will be Distributed: 50% IN / 50 % OUT

NA = Not Available KSF² = Units of 1,000 square feet
DU = Dwelling Unit Fuel Position = the number of vehicles that could be fueled simultaneously
Occ.Room = Occupied Room



November 20, 2014

PROPOSED ZONING CHANGE MEETING NOTICE

In accordance with SECTION 125-49.C.(1)(a) of the City of League City Zoning Ordinance, you are hereby notified of a proposed Application for Re-Zoning of 11.3030 acres of land out of the M. MULDOON TWO LEAGUE GRANT, Abstract #18, City of League City, Galveston County, Texas. The subject property is generally bounded by South Shore Harbour, Section One, to the Northeast; Texas State F.M. Road No. 2094 (Marina Bay Drive) to the Northwest, and; the abandoned Houston Lighting and Power Company Cooling Water Canal to the South. The subject property is presently Zoned Public / Semi-Public and is proposed to be Re-Zoned to Mixed Use Commercial.

You have received this MEETING NOTICE because current tax rolls indicate you own a property in the City of League City which is within 500 feet of the property subject to the proposed zone change. The property owner/applicant and/or the property owner/applicants representative(s) will be available at the MEETING to discuss the proposed Zoning change and answer your questions.

The MEETING will be held **Tuesday, December 2, 2014, at 6:00 p.m., in the Paradise Reef Dining Room at South Shore Harbour Resort, 2500 South Shore Boulevard.**

If you have questions regarding this meeting, please contact Dale L. Hardy, RPLS, GeoSurv, LLC, at 281-554-7739, or via e-mail at dhardy@geosurvlc.com

PROPOSED ZONING

NEIGHBORHOOD MEETING

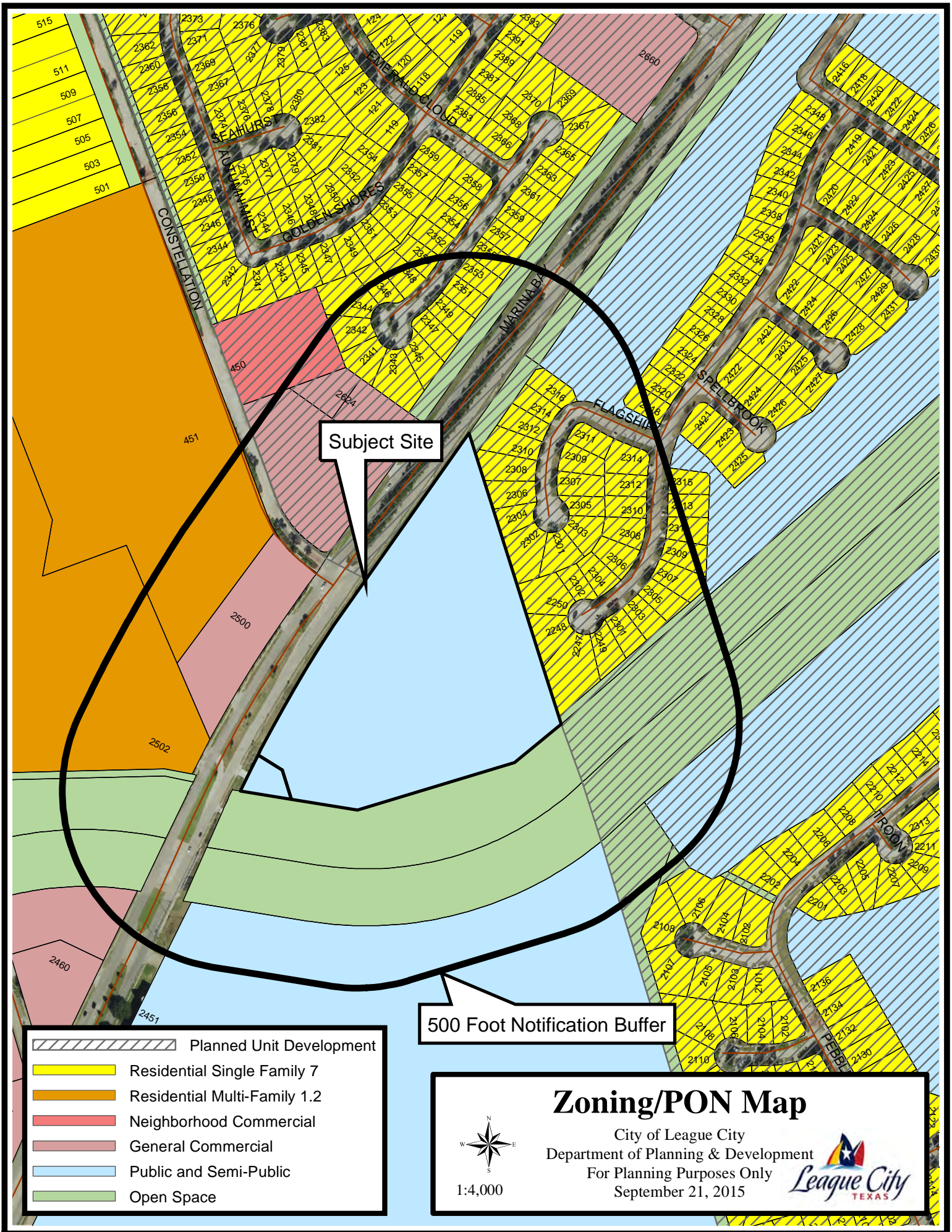
SIGN-IN RECORD

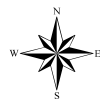
APPLICANT: LCS DEVELOPMENT

DECEMBER 2, 2014

NAME ADDRESS PHONE NUMBER E-MAIL ADDRESS

Hugh & Dottie McLaughlin 2249 Fairway Pointe Dr. 281-554-1139 dotjune2249@earthlink.net
 Eleanor Forbes 2308 FLAGSHIP CT. 281-229-0072 eleanor2308@earthlink.net
 Carol Harman 2250 Fairway Pointe 281-535-7323 cjharm@gmail.com
 CARL + RICK NUTT 2247 FAIRWAY POINTE 281-334-7623 carol@sandra.wmml.com
 KATHERINE DALES 2406 FAIRWAY POINTE DR 281-334-7412 KDALES@COMCAST.NET
 TIM + NANCY GAFFNEY 2311 FLAGSHIP 281-538-1831 flagship33@comcast.net
 MARTHA JAMES 2310 FAIRWAY PTE 281-535-0518 mjmjames095@verizon.com
 MARY K. CHIMENTI 2301 FLAGSHIP CT. 832-651-7516 KATIE53@HOTMAIL.COM
 DON + MEANIE GRIFFIN 2318 FAIRWAY PT 713-715-4987
 Jeff + Beverly Annand 2302 Flagship Ct - 283345324
 Jerry + Barbara Hoppen 2306 Flagship Ct 281-538-4397
 Robert W. Norris 2313 FAIRWAY POINTE DR. 281-535-3443 RWNORRIS@AOL.COM
 Thomas Schreier 2404 Fairway Pointe 77573 773-392-5380 tamabos@yahoo.com
 MIKE SADLER 450 CONSTELLATION 281-728-6050 KAMTAGLCC@AOL.COM
 Russell Koehn 2314 Fairway Pointe Dr. russ.koehn@williams.com
 Mary Jane Colson 2343 Windy Cove Ct. maryjane.colson@bayer.com
 William Papadopoulos 3939 HARTSDALE DR HOUSTON 77063 713-773-7343 x105
 WILLIAM @ DELTATROY.com





1:3,000

Aerial Map

City of League City
Department of Planning & Development
For Planning Purposes Only
September 3, 2015



Mailed and Hand Delivered

September 11, 2015

Department of Planning and Development
300 W. Walker
League City, TX 77573

RE: Case Number: Z14-14

To Whom It May Concern:

Changing the zoning will cause property values to decrease, which will lead to League City and Galveston County collecting less in taxes. What will zoning changes cause in the way of flooding in the Fairway Pointes subdivision? This zoning change could lead to additional crime in the Fairway Pointe subdivision due to much easier access to the neighborhood.

SEP 11 2015

ZONING PETITION FORM

City of League City - Planning Department
www.leaguecity.com/planning



Office of
City Secretary
If surrounding property owners want to oppose a zoning change request that has not been acted upon by City Council, complete the following form and submit it to the Planning Department prior to the City Council meeting. (Staff recommends that you submit this form as early as possible and before the Planning and Zoning Commission's recommendation to City Council.) Original signatures and addresses/tax identification numbers must be submitted to the Planning Department in order to be valid. The petition will be subject to the following state law.

Per Section 211.006(d) of the Texas Local Government Code:

"If a proposed change to a regulation or boundary [zoning] is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either:

1. the area of the lots or land covered by the proposed change; or
2. the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area."

Zoning Case # and Description: Case Number: 215-14

I, Dwight Judy, do hereby verify that I collected the information contained on this document and that the persons whose names are listed hereon did sign this document in my presence and that I witnessed their signature for the purposes stated herein.

Dwight Judy
Signature of Person Collecting Names

2310 Flagship Court 281-538-1350 sdjudy@verizon.net
Address Telephone Number E-Mail Address

We, the undersigned owners of property within 200' of the property that is the subject of this zoning case, oppose the requested zoning change because (attach additional pages if necessary). See attached

Property Owner Signature	Printed Name	Address or Tax ID #
1. Beverly Arnold	Beverly Arnold	2302 Flagship Ct
2. Dwight Judy	Dwight Judy	2310 Flagship Ct
3. Barbara Hopper	Barbara Hopper	2306 Flagship Ct
4. NJ Gaffney	NJ GAFFNEY	2311 FLAGSHIP CT
5. Janet M Morgan	Janet M Morgan	2312 Flagship Ct.
6. Cheryl S. Ham	CHERYL S. HAM	2305 FLAGSHIP CT
7. Goldie M. Bruce	GOLDIE M. BRUCE	2316 Flagship Ct.
8. Daniel Cowan	DANIEL COWAN	2315 FAIRWAY POINTE DR
9. Robert W. Norris	ROBERT W. NORRIS	2313 FAIRWAY POINTE DR
10. Jody C. Rosworth	JODY C. ROSWORTH	2308 FAIRWAY POINTE DR
11. Martha James	MARTHA JAMES	2310 FAIRWAY POINTE DR
12. Mary Kate Chimenti	MARY KATE CHIMENTI	2301 FLAGSHIP CT.
13. Rick A. H. T.	RICK A. H. T.	2247 FAIRWAY DR
14. Sharon L. Veley	SHARON L. VELEY	2248 FAIRWAY DR.

Property Owner Signature	Printed Name	Address or Tax ID #
15. Carol Harman	CAROL HARMAN	2250 Fairway
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September 8, 2015

Attention Ryan Granata

Subject: Department of Planning and Development League City Texas. Hearing and consideration of Zone Change Application Z15-14 "The Delaney at South Shore Harbour."

As owner of home located at 2304 Flagship Court League City Texas 77573, I strongly oppose this proposed rezoning plan. I feel this will cause a depreciation of property values and create a nuisance at the back of my property.

Respectfully Yours

A handwritten signature in cursive script, appearing to read "Ray Gibson", written in dark ink.

Ray Gibson