

CONSTRUCTION PLANS FOR
WATER, SANITARY SEWER AND
DRAINAGE FACILITIES
&
PAVING AND APPURTENANCES

TO SERVE
MAGNOLIA CREEK SECTION 14
GALVESTON COUNTY
MUNICIPAL UTILITY DISTRICT NO. 6
CITY OF LEAGUE CITY
GALVESTON COUNTY, TEXAS

LJA JOB NO. 1742-1514 (PAVING)
1742-1514D (WS&D)

DATE : JUNE 2016

NOTES

1. THESE PLANS WERE PREPARED TO MEET OR EXCEED THE CITY OF LEAGUE CITY SUBDIVISION RULES AND REGULATIONS AS CURRENTLY AMENDED.
2. CONSTRUCTION WILL BE MONITORED BY A LICENSED PROFESSIONAL ENGINEER TO INSURE COMPLIANCE WITH THE CONSTRUCTION PLANS AND SPECIFICATIONS.
3. CONTRACTOR SHALL NOTIFY THE CITY OF LEAGUE CITY ENGINEER'S OFFICE AT (281)-554-1439, AT LEAST 48 HOURS PRIOR TO COMMENCEMENT. NOTIFICATION SHALL BE FOLLOWED UP WITH A LETTER, A COPY OF WHICH SHALL BE SENT TO THE ENGINEER.
4. APPROVAL BY THE CITY OF LEAGUE CITY WILL BE DEEMED VOID IF CONSTRUCTION DOES NOT BEGIN WITHIN ONE YEAR OF APPROVAL.
5. THE ONLY AUTHORITY PERMITTED TO ADD WATER TO A CONCRETE TRUCK MUST COME FROM THE TESTING COMPANY OR A REPRESENTATIVE OF LJA ENGINEERING, INC.
6. A PRE-CONSTRUCTION MEETING WITH THE CITY OF LEAGUE CITY ENGINEERING DEPARTMENT IS REQUIRED AT LEAST 10 WORKING DAYS PRIOR TO ON SITE CONSTRUCTION ACTIVITIES. CALL 281-554-1440 FOR A MEETING DATE AND TIME. A PRE-CONSTRUCTION MEETING FOR THIS PROJECT MAY NOT BE SCHEDULED AND CONSTRUCTION OF THE PROJECT MAY NOT COMMENCE PRIOR TO APPROVAL OF THESE PLANS BY THE CITY ENGINEER AS EVIDENCED BY HIS SIGNATURE.

WS&D RECORD DRAWING

I HEREBY CERTIFY THAT THIS DRAWING REFLECTS THE IMPROVEMENTS CONSTRUCTED AS TO SIZE, LOCATION, AND GRADE; AND THAT THE CONSTRUCTION WAS IN SUBSTANTIAL COMPLIANCE WITH THE CONTRACT DOCUMENTS.

CONTRACTOR: Wayne DATE: 2-22-17

TITLE:

PAVING RECORD DRAWING

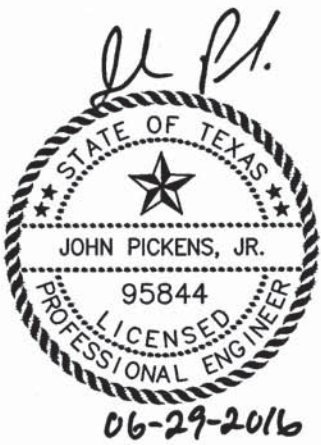
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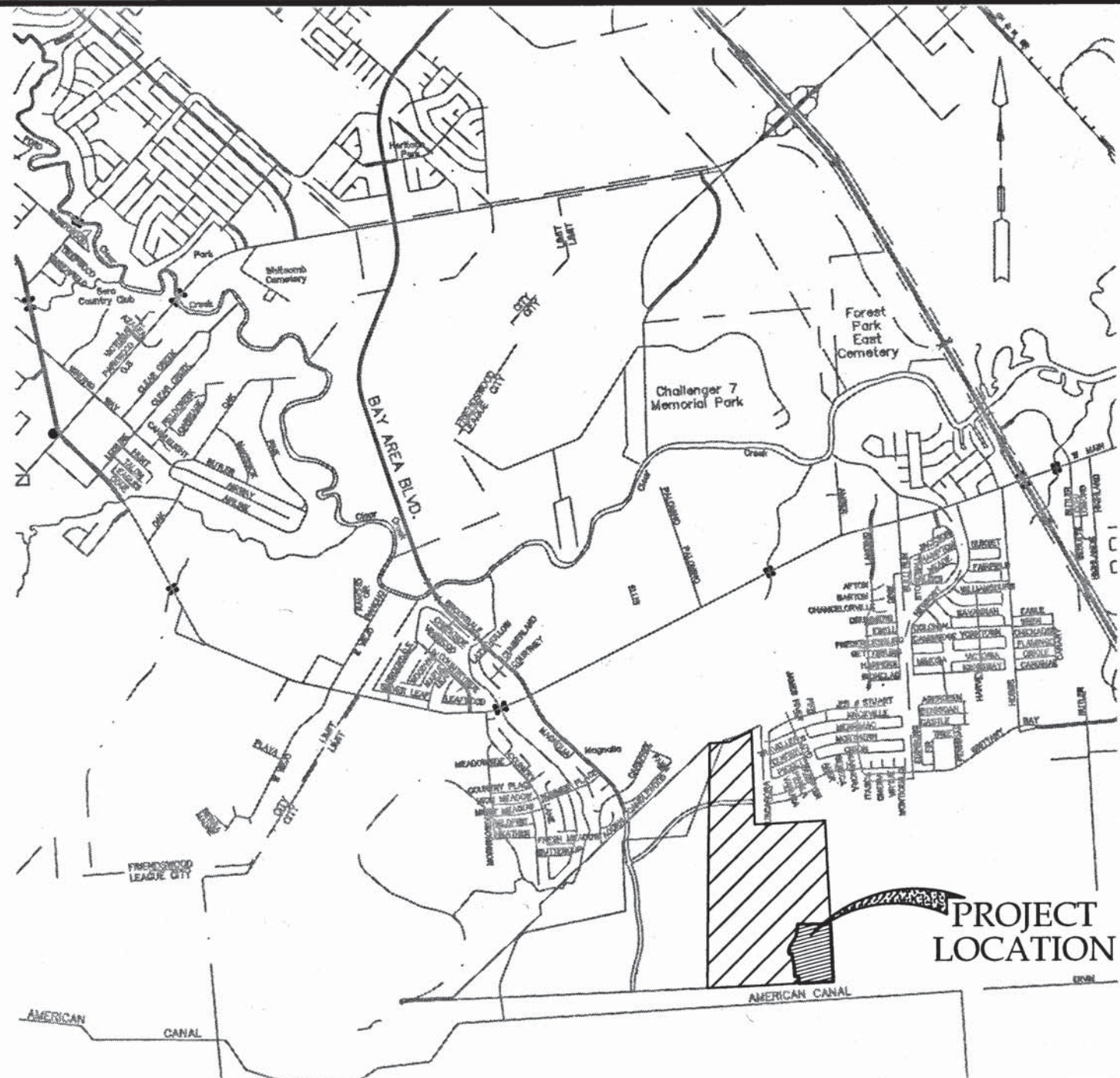
TITLE: CECIL SUPERVISOR

REVIEW SIGNATURES	
ENGINEERING: <u>CS</u>	DATE: <u>7/8/16</u>
TRAFFIC: <u>N/A</u>	
FIRE MARSHAL: <u>Tom Bess 7/1/16</u>	
UTILITY LINE REPAIR:	
CONSTRUCTION MANAGEMENT: <u>N/A</u>	

The review signatures above for this set of plans in no way implies approval or acceptance and is purely a reflection of the City's review process.



APPROVED FOR CONSTRUCTION
BY John Bess DATE: 7/25/2016



G.C. M.U.D. 6 BOUNDARY SCALE: NONE GALVESTON COUNTY KEY MAP 660-G-L-M

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The signer of this set of plans has no objection to the design of these plans. Through the review process these plans have been found to be in general compliance with League City's "General Design and Construction Standards" manual and Construction Details. It should be noted that all calculations, measurements and overall line work within these plans should be checked and verified. This approval is good for 1 (one) year from the date of signing as shown. The plans submitted have been prepared, signed and sealed by a professional engineer licensed to practice engineering in the state of Texas, which conveys the engineer's responsibility and accountability. Design Engineer assumes all responsibility for any inconsistencies or imperfections in these plans.

DEVELOPER:
MHWS DEVELOPMENT, LLC

ENGINEER:

LJA Engineering, Inc.

2929 Briarpark Drive
Suite 600
Houston, Texas 77042

Phone 713.953.5200
Fax 713.953.5026
FRN-F-1386



GENERAL NOTES:

1. This property lies in Zone X (No Shading), defined by FEMA as areas outside the 500-year flood plain, as scaled from FIRM Community-Panel Number 485488 0025 D, map revised September 22, 1999.
2. The herein subdivided tract or parcel of land lies entirely within the incorporated limits of the City of League City, Texas.
3. The herein subdivided tract or parcel of land lies within the Clear Creek Independent School District.
4. All easements on lot lines are centered unless otherwise shown.
5. All street intersection right-of-way return radii are 25 feet unless otherwise noted.
6. All streets shall be curb and gutter, concrete pavement with storm sewers.
7. "B.L." indicates Building Line.
8. "S.L.E." indicates Street Light Easement.
9. "S.S.E." indicates Sanitary Sewer Easement.
10. "U.E." indicates Utility Easement.
11. "W.L.E." indicates Water Line Easement.
12. Residential lots within this development section shall be restricted to a maximum impervious cover of 65% of the surface area, based on the Drainage Study and Design Plan as prepared by LJA Engineering, and approved by the City of League City.
13. A Storm Water Quality (SWQ) permit must be obtained before issuance of any construction permit for a structure. All structural or non-structural controls on or for the parcel(s) may not be changed from the plans and technical specifications in the SWQ permit unless the provisions of Section 43-54 of the League City Code of Ordinances have been met.
14. All proposed and future utilities shall conform to League City Subdivision and Development Regulations in place at the time of plat filing.
15. All sidewalks shall be installed such that a minimum of one foot (1') clearance is maintained from any utility structure accessible from ground level such as lids, water valves, cleanouts, power poles, meters, etc.
16. The developer shall place sidewalks across all reserves that are restricted to landscape, open space and recreation center or parks unless a trails master plan stipulates otherwise.

CURVE	RADIUS	DELTA	ARC	BEARING	CHORD	CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	1530.00'	03°29'50"	93.39'	N 05°09'50" W	93.37'	C26	25.00'	93°53'04"	40.96'	S 40°01'48" W	36.53'
C2	1470.00'	01°43'46"	44.37'	N 07°46'38" W	44.37'	C27	1470.00'	04°54'30"	125.93'	N 09°22'00" W	125.89'
C3	670.00'	05°21'49"	62.72'	S 81°32'08" W	62.70'	C28	630.00'	12°08'49"	133.56'	N 05°44'51" W	133.31'
C4	700.00'	13°31'10"	165.17'	N 72°05'39" E	164.79'	C29	25.00'	86°59'21"	37.96'	N 43°10'07" W	34.41'
C5	700.00'	18°39'15"	227.90'	N 88°10'51" E	226.90'	C30	670.00'	14°28'59"	169.36'	S 86°05'43" W	168.91'
C6	1500.00'	04°54'30"	128.50'	N 09°22'00" W	128.46'	C31	25.00'	84°29'56"	36.87'	N 54°58'01" E	33.62'
C7	600.00'	24°32'18"	256.96'	N 00°26'54" E	255.00'	C32	530.00'	07°52'41"	72.87'	S 86°43'22" E	72.82'
C8	55.00'	76°37'15"	73.55'	N 51°01'40" E	68.19'	C33	25.00'	87°38'02"	38.24'	S 46°50'41" E	34.62'
C9	55.00'	87°38'02"	84.12'	S 46°50'41" E	76.16'	C34	25.00'	90°00'00"	39.27'	S 41°58'20" W	35.36'
C10	500.00'	13°35'05"	118.55'	S 83°52'10" E	118.27'	C35	25.00'	82°02'23"	35.80'	N 52°00'29" W	32.82'
C11	55.00'	87°38'02"	84.12'	S 46°50'41" E	76.16'	C36	1530.00'	00°49'58"	22.24'	N 11°24'16" W	22.24'
C12	300.00'	52°00'59"	272.36'	N 03°05'05" E	263.10'	C37	570.00'	08°51'19"	88.10'	N 07°23'35" W	88.01'
C13	350.00'	44°56'11"	274.50'	N 08°37'29" E	267.52'	C38	25.00'	110°20'53"	48.15'	N 52°12'31" E	41.04'
C14	730.00'	14°44'47"	187.88'	N 86°13'37" E	187.37'	C39	50.00'	205°15'43"	179.12'	N 04°45'06" E	97.58'
C15	25.00'	83°38'12"	36.49'	N 51°46'55" E	33.34'	C40	25.00'	110°20'53"	48.15'	N 42°42'18" W	41.04'
C16	630.00'	02°45'13"	30.28'	N 11°20'26" E	30.28'	C41	570.00'	00°14'54"	2.47'	N 12°35'35" E	2.47'
C17	25.00'	29°55'35"	13.06'	N 02°14'45" W	12.91'	C42	25.00'	76°37'15"	33.43'	N 51°01'40" E	31.00'
C18	50.00'	136°28'26"	119.10'	N 51°01'40" E	92.87'	C43	25.00'	87°38'02"	38.24'	S 46°50'41" E	34.62'
C19	25.00'	29°55'35"	13.06'	S 75°41'55" E	12.91'	C44	25.00'	90°00'00"	39.27'	S 41°58'20" W	35.36'
C20	25.00'	21°02'22"	9.18'	N 78°49'07" E	9.13'	C45	25.00'	90°00'00"	39.27'	N 48°01'40" W	35.36'
C21	50.00'	131°37'03"	114.86'	S 45°53'33" E	91.22'	C46	25.00'	23°04'15"	10.07'	N 08°30'27" E	10.00'
C22	25.00'	22°56'39"	10.01'	S 08°26'39" W	9.94'	C47	50.00'	131°44'40"	114.97'	N 45°49'45" W	91.26'
C23	25.00'	89°50'22"	39.20'	S 47°56'51" E	35.31'	C48	25.00'	21°02'22"	9.18'	S 78°49'07" W	9.13'
C24	25.00'	90°09'38"	39.34'	S 42°03'09" W	35.40'	C49	470.00'	06°30'44"	53.42'	N 87°24'20" W	53.39'
C25	25.00'	90°00'00"	39.27'	N 48°01'40" W	35.36'	C50	25.00'	96°52'00"	42.27'	N 35°42'58" W	37.41'

LINE	DISTANCE	BEARING
L1	34.33'	S 03°01'40" E
L2	60.00'	S 83°05'15" W
L3	59.46'	N 09°54'13" W
L4	60.01'	N 11°44'11" W
L5	85.26'	N 13°55'15" W
L6	83.24'	N 11°08'46" W
L7	36.88'	N 06°20'44" E
L8	61.24'	N 14°53'04" E
L9	64.91'	N 24°52'44" E
L10	79.89'	S 82°29'31" E
L11	82.54'	N 11°49'15" W
L12	439.52'	N 89°20'18" E
L13	2.35'	N 38°58'20" W
L14	1.09'	N 43°50'38" E
L15	155.00'	N 87°07'58" W
L16	147.10'	N 89°20'18" E
L17	515.78'	S 03°01'40" E
L18	1.13'	N 43°53'28" E
L19	299.48'	N 29°05'35" E
L20	100.07'	N 87°07'58" E
L21	99.93'	S 87°07'58" W
L22	95.00'	N 03°01'40" W
L23	82.54'	N 11°49'15" W
L24	147.10'	N 89°20'18" E
L25	82.54'	N 11°49'15" W



P.O. Box 246, League City, Texas 77574
281-554-7739 409-765-6030 Fax: 281-554-6928



MAGNOLIA CREEK SECTION FOURTEEN

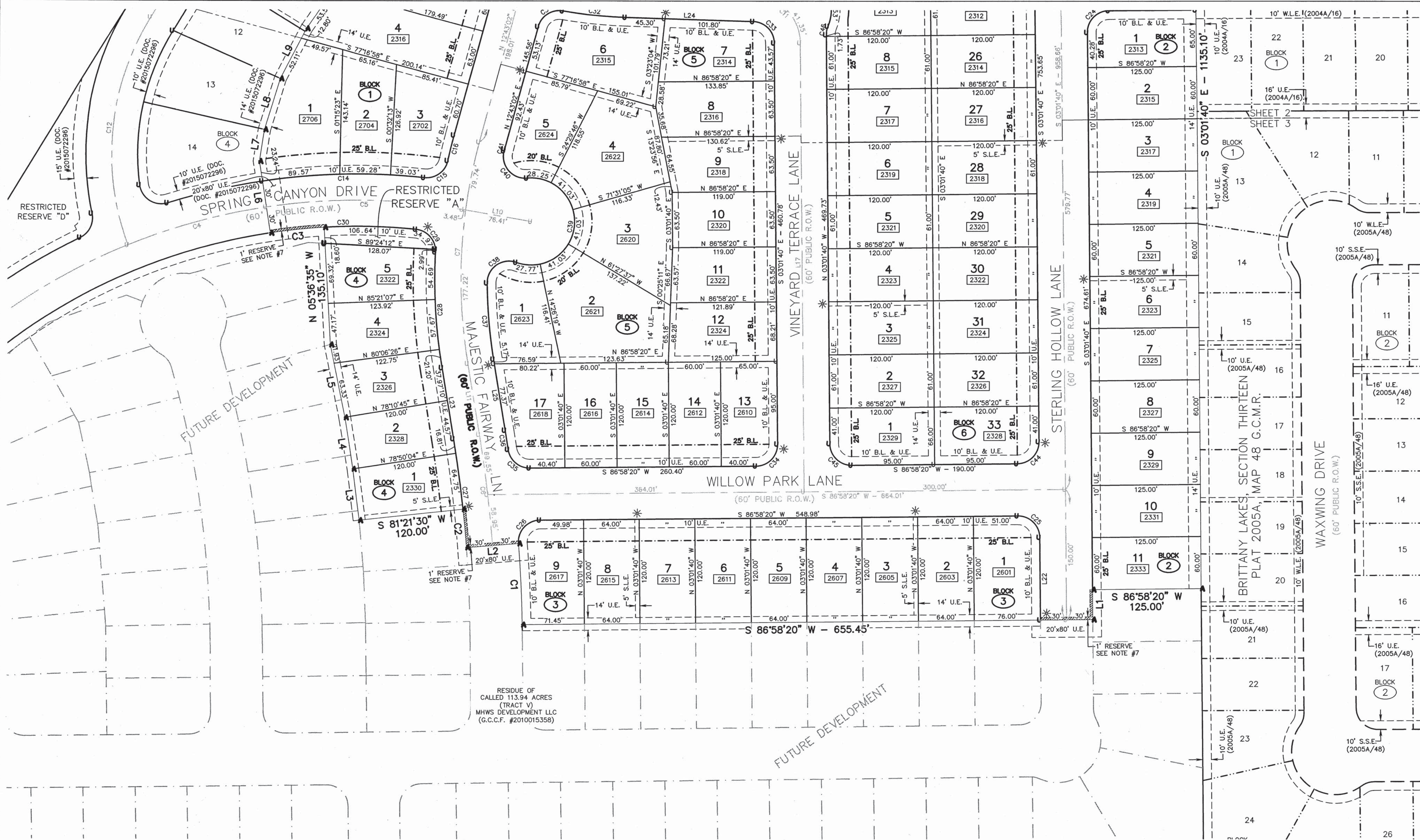
BEING 25.40 ACRES OUT OF THE
A.B. LANGERMANN SURVEY, ABSTRACT 654
AND J.R. CORYELL SURVEY, ABSTRACT 660
CITY OF LEAGUE CITY,
GALVESTON COUNTY, TEXAS
101 LOTS 6 BLOCKS
1 RESERVE

DEVELOPER:
MHWS DEVELOPMENT, LLC,
A DELAWARE LIMITED
LIABILITY COMPANY
5995 ROGERDALE DRIVE,
SUITE 3040-A
HOUSTON, TEXAS 77072

SURVEYOR:
GeoSurv, LLC
P.O. BOX 246
LEAGUE CITY, TEXAS
77574

SCALE: 1" = 60'

SHEET 3A OF 29
MARCH 3, 2016
MC, SEC. 14



LOT AREA TABLE											
LOT	AREA (SQ. FT.)	AREA (ACRES)	LOT	AREA (SQ. FT.)	AREA (ACRES)	LOT	AREA (SQ. FT.)	AREA (ACRES)	LOT	AREA (SQ. FT.)	AREA (ACRES)
BLOCK 1			BLOCK 1 (CONT.)			BLOCK 3 (CONT.)			BLOCK 5 (CONT.)		
1	12,046	0.28	23	7,865	0.18	6	7,680	0.18	12	8,421	0.19
2	8,260	0.19	24	7,500	0.17	7	7,680	0.18	13	7,866	0.18
3	8,544	0.20	25	7,500	0.17	8	7,680	0.18	14	7,200	0.17
4	12,003	0.28	26	7,970	0.18	9	8,652	0.20	15	7,200	0.17
5	10,130	0.23	BLOCK 2			BLOCK 4			BLOCK 6		
6	8,850	0.20	1	8,012	0.18	1	7,466	0.17	16	7,200	0.17
7	7,598	0.17	2	7,500	0.17	2	7,286	0.17	17	7,200	0.17
8	7,200	0.17	3	7,500	0.17	3	7,419	0.17	18	7,200	0.17
9	7,214	0.17	4	7,500	0.17	4	7,847	0.18	19	7,200	0.17
10	7,263	0.17	5	7,500	0.17	5	7,962	0.18	20	7,200	0.17
11	13,041	0.30	6	7,500	0.17	BLOCK 5			21	7,200	0.17
12	10,913	0.25	7	7,500	0.17	1	8,031	0.18	22	7,847	0.18
13	7,416	0.17	8	7,500	0.17	2	14,396	0.33	23	8,402	0.19
14	7,225	0.17	9	7,500	0.17	3	10,626	0.24	24	7,320	0.17
15	7,200	0.17	10	7,500	0.17	4	11,958	0.27	25	7,320	0.17
16	7,200	0.17	11	7,500	0.17	5	8,533	0.20	26	7,320	0.17
17	7,204	0.17	BLOCK 3			6	12,629	0.29	27	7,320	0.17
18	7,279	0.17	1	8,986	0.21	7	8,993	0.21	28	7,320	0.17
19	7,390	0.17	2	7,680	0.18	8	8,544	0.20	29	7,320	0.17
20	7,529	0.17	3	7,680	0.18	9	7,925	0.18	30	7,320	0.17
21	11,883	0.27	4	7,680	0.18	10	7,556	0.17	31	7,320	0.17
22	15,436	0.35	5	7,680	0.18	11	7,648	0.18	32	7,320	0.17
						15	8,757	0.20	33	7,786	0.18

RESTRICTED RESERVE TABLE			
RESERVE	AREA (SQ. FT.)	AREA (ACRES)	USE
"A"	2,669	0.06	LANDSCAPE/OPEN SPACE/AMENITY



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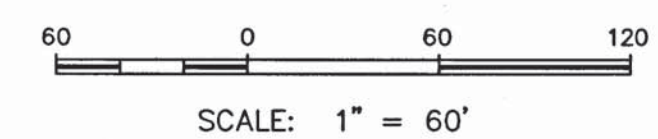


MAGNOLIA CREEK SECTION FOURTEEN

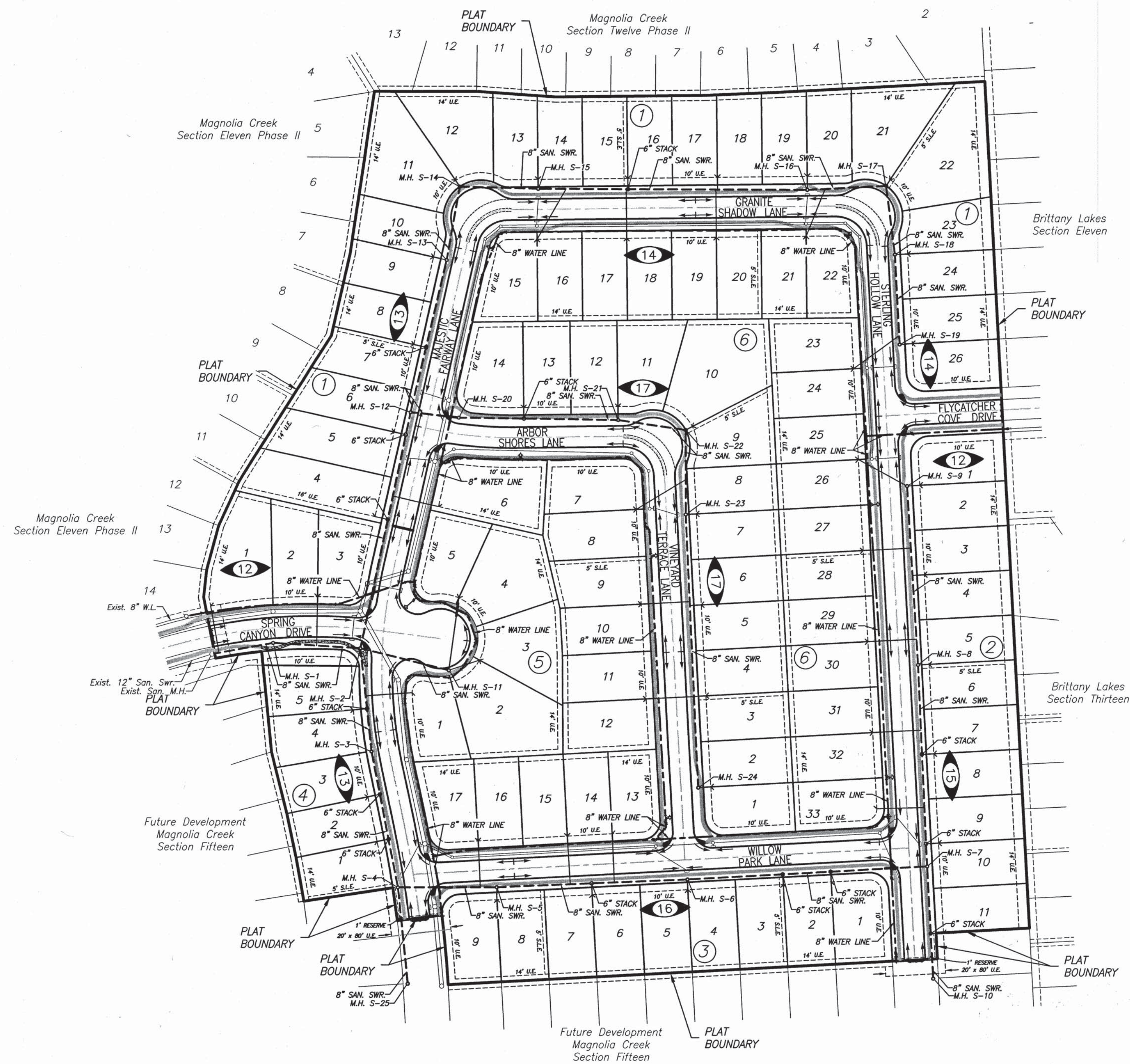
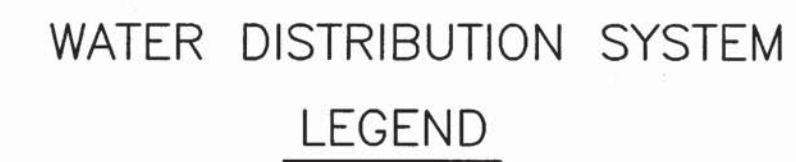
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CITY OF LEAGUE CITY,
GALVESTON COUNTY, TEXAS
101 LOTS 6 BLOCKS
1 RESERVE

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A DELAWARE LIMITED
LIABILITY COMPANY
5995 ROGERDALE DRIVE,
SUITE 3040-A
HOUSTON, TEXAS 77072

SURVEYOR:
GeoSurv, LLC
P.O. BOX 246
LEAGUE CITY, TEXAS
77574



LEGEND



1. ALL T.C. ELEVATIONS SHOWN ON PLAN AND PROFILE ARE BASED ON 6" CURB. TO OBTAIN 4"x12" CURB ELEVATION, SUBTRACT 0.17'.
2. ALL INTERIOR CONCRETE CURBS SHALL BE 4"x12", 6" CONCRETE CURB SHALL BE INSTALLED AT AREAS ADJACENT TO RESERVES AND ON COLLECTOR ROAD.
3. WATER LINE WITH MECHANICAL JOINT SHALL BE CONSTRUCTED AS PER CITY OF LEAGUE CITY STANDARDS.
4. MANHOLE RIM ELEVATIONS SHOWN ON PLAN ARE APPROXIMATE ONLY. UTILITIES CONTRACTOR SHALL ADJUST MAN HOLE RIM TO 0.5' ABOVE FINISHED GRADE.
5. REFER TO TRAFFIC CONTROL LAYOUT SHEET FOUR SIDEWALK, WHEELCHAIR RAMP AND SIGNAGE LOCATIONS.
6. WATER LINE AND SANITARY SEWER CROSSING: ONE FULL SECTION OF WATER LINE JOINT CENTERED AT SANITARY MAIN CROSSING W/APPROVED RESTRAINED JOINTS. MINIMUM OF ONE FULL JOINT SECTION OF SANITARY SEWER JOINT (PSI 150 LINDED DUCTILE IRON OR PRECAST PIP) CENTERED AT WATER LINE CROSSING W/APPROVED RESTRAINED JOINTS FOR WATER LINE AND SANITARY SEWER (NO SEPARATE PAV).
7. PAVING CONTRACTOR SHALL TAKE EXTREME CAUTION IN SUBGRADE MANIPULATION IN THIS AREA. STORM SEWER/SLOPE IS IN OR WITHIN 6" (SIX INCHES) OF SUBGRADE.
8. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
9. CAUTION: THERE ARE EXISTING UTILITIES WITHIN THE PROJECT AREA. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES AFFECTING THE PROJECT. IF UTILITIES PRIOR TO CONSTRUCTION, IN THE EVENT OF CONFLICT BETWEEN EXISTING UTILITIES AND PROPOSED UTILITIES, THE CONTRACTOR SHALL SUSPEND CONSTRUCTION IN THE VICINITY OF THE CONFLICT AND SHALL COMMENCE ONLY UPON AUTHORIZATION BY ENGINEER OR OWNER.

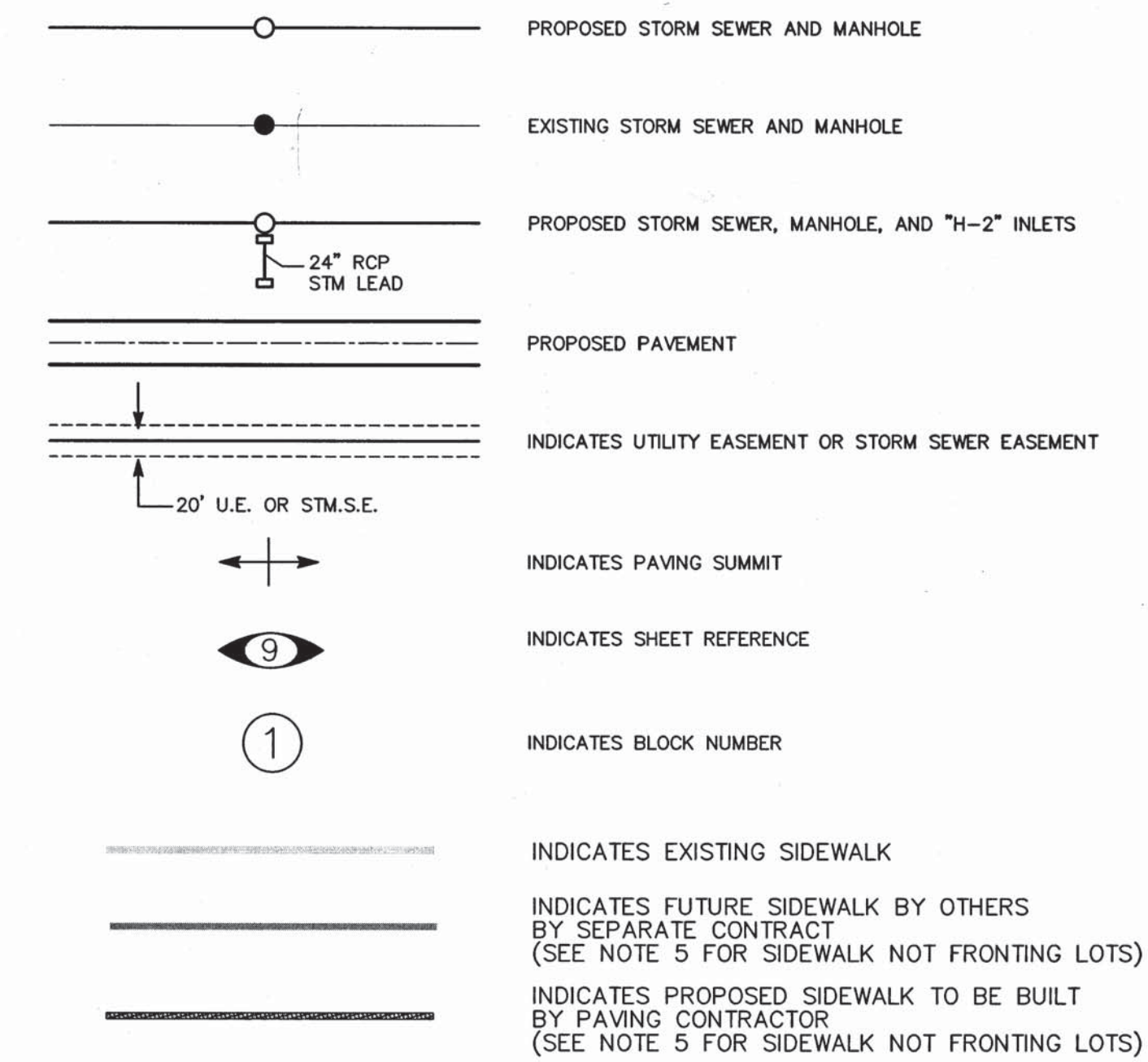
SCALE: 1" = 100'

SHEET NO. 04 OF 29

Date\Time : Thu, 02 Jun 2016 - 3:50pm User Name : ceiche
Path\Name : I:\Proidsk\1742\1514\MC14 Sheet Files\04 MC 14 Wtr&San.dwg

MAGNOLIA CREEK SECTION 14 TO SERVE MAGNOLIA CREEK DEVELOPMENT - 1742-1514 & 1742-1514D

LEGEND



ELEVATIONS BASED UPON LEAGUE CITY BENCHMARK NO. 15.
ELEVATION DATUM BEING NVGD 1929, 1987 ADJUSTMENT.

ALL BEARINGS AND COORDINATES ARE BASED ON THE TEXAS
STATE PLANE COORDINATE SYSTEM (NAD 83), SOUTH
CENTRAL ZONE. WITH COORDINATES GIVEN IN FEET. ALL
DISTANCE AND COORDINATES SHOWN ARE SURFACE AND MAY
BE CONVERTED TO GRID BY MULTIPLYING BY A COMBINED
ADJUSTMENT FACTOR OF 0.999866224

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2. ALL INTERIOR CONCRETE CURBS SHALL BE 4"x12", 6" CONCRETE CURB SHALL BE INSTALLED AT AREAS ADJACENT TO RESERVES AND ON COLLECTOR ROAD.
3. WATER LINE WITH MECHANICAL JOINT SHALL BE CONSTRUCTED AS PER CITY OF LEAGUE CITY STANDARDS.
4. MANHOLE RIM ELEVATIONS SHOWN ON PLAN ARE APPROXIMATE ONLY. UTILITIES CONTRACTOR SHALL ADJUST MAN HOLE RIM TO 0.5' ABOVE FINISHED GRADE.
5. REFER TO TRAFFIC CONTROL LAYOUT SHEET FOR SIDEWALK, WHEELCHAIR RAMP AND SIGNAGE LOCATIONS.
6. WATER LINE AND SANITARY SEWER CROSSING: ONE FULL SECTION OF WATER LINE JOINT CENTERED AT SANITARY MAIN CROSSING W/APPROVED RESTRAINED JOINTS: MINIMUM OF ONE FULL JOINT SECTION OF SANITARY SEWER JOINT (PSI 150 LINED DUCTILE IRON OR GREEN PVC PIPE) CENTERED AT WATER LINE CROSSING W/APPROVED RESTRAINED JOINTS FOR WATER LINE AND SANITARY SEWER (NO SEPARATE PAY).
7. PAVING CONTRACTOR SHALL TAKE EXTREME CAUTION IN SUBGRADE MANIPULATION IN THIS AREA. STORM SEWER PIPE IS IN OR WITHIN 6" (SIX INCHES) OF SUBGRADE.
8. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
9. CAUTION: THERE ARE EXISTING UTILITIES WITHIN THE PROJECT AREA. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES AFFECTING PROPOSED UTILITIES PRIOR TO CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN EXISTING UTILITIES AND PROPOSED UTILITIES, THE CONTRACTOR SHALL SUSPEND CONSTRUCTION IN THE VICINITY OF THE CONFLICT AND SHALL COMMENCE ONLY UPON AUTHORIZATION BY ENGINEER OR OWNER.

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CONTRACTOR: Wynne DATE: 2-22-17

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THAT THE CONSTRUCTION WAS IN SUBSTANTIAL
COMPLIANCE WITH THE CONTRACT DOCUMENTS.

CONTRACTOR: Al-Last DATE: 2-22-17

TITLE: OFFICE SUPERVISOR

[illegible]

MAGNOLIA CREEK SECTION 14
TO SERVE MAGNOLIA CREEK
DEVELOPMENT

LJA Engineering, Inc.

2929 Briarpark Drive Phone 713.953.5200
Suite 600 Fax 713.953.5026
Houston, Texas 77042 FRN - F-1386

LJA PROJECT NO.: 1742-1514 & 1742-1514D

DESIGNED BY: T.P./R.T.B.	DRAWN BY: C.L.E./H.T.N.	DATE: JUNE 2016
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DRAWING SCALE
SCALE: 1" = 100'

SHEET NO. 05 OF 29

Date/Time : Thu, 02 Jun 2016 - 3:51pm User Name : ceiche
Path/Name : I:\Projdsk1\1742\1514\MCT4_Sheet Files\05_MC 14_STM.dwg

MAGNOLIA CREEK SECTION 14 TO SERVE MAGNOLIA CREEK DEVELOPMENT - 1742-1514 & 1742-1514D