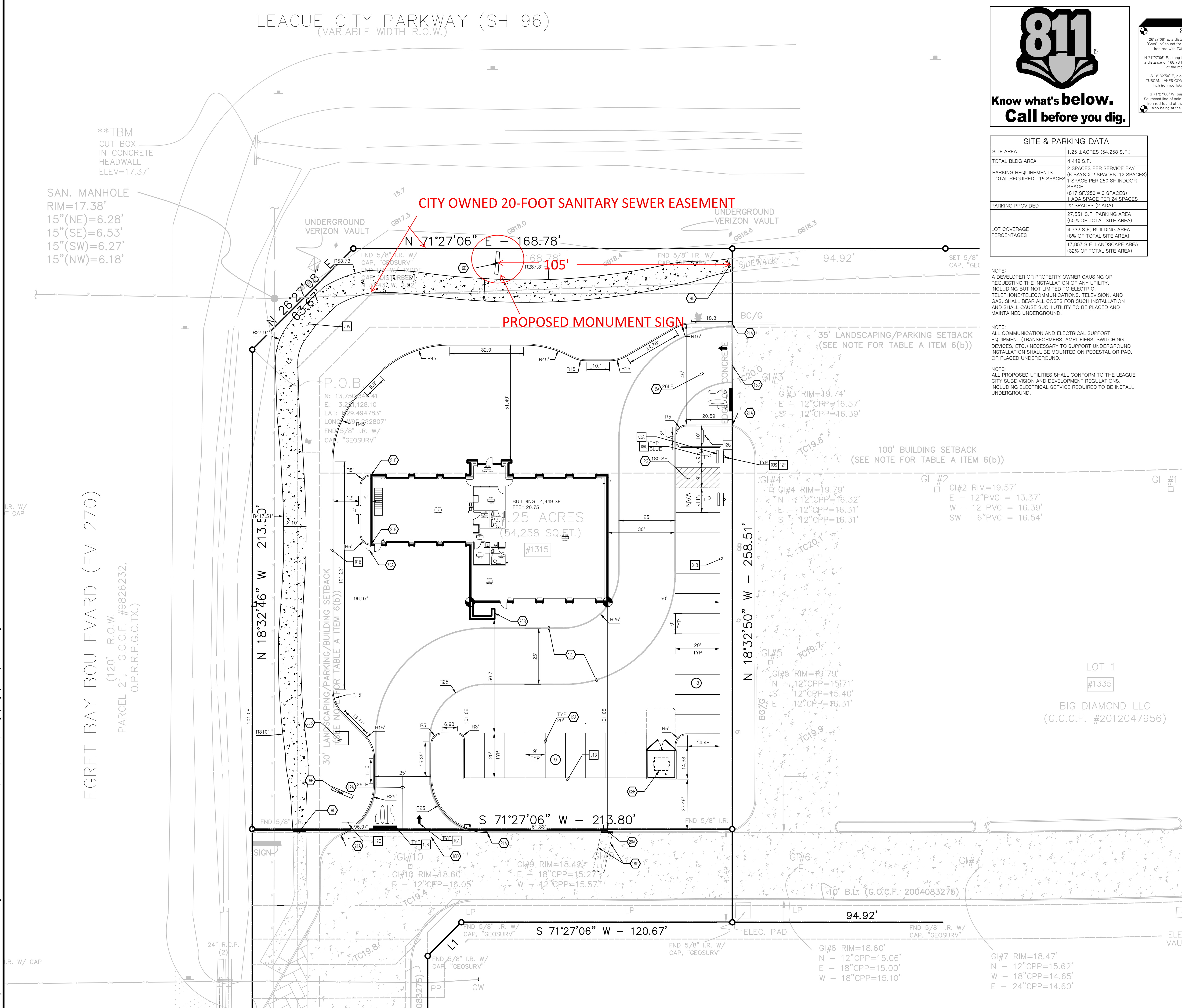


JOB # 20773 DRAWING: 20773-SP.dwg LAST SAVED BY: JENELL LOCATION: P:\20000\20773\01 Drawings\Design\Rev-0\20773-SP.dwg



811
Know what's below.
Call before you dig.

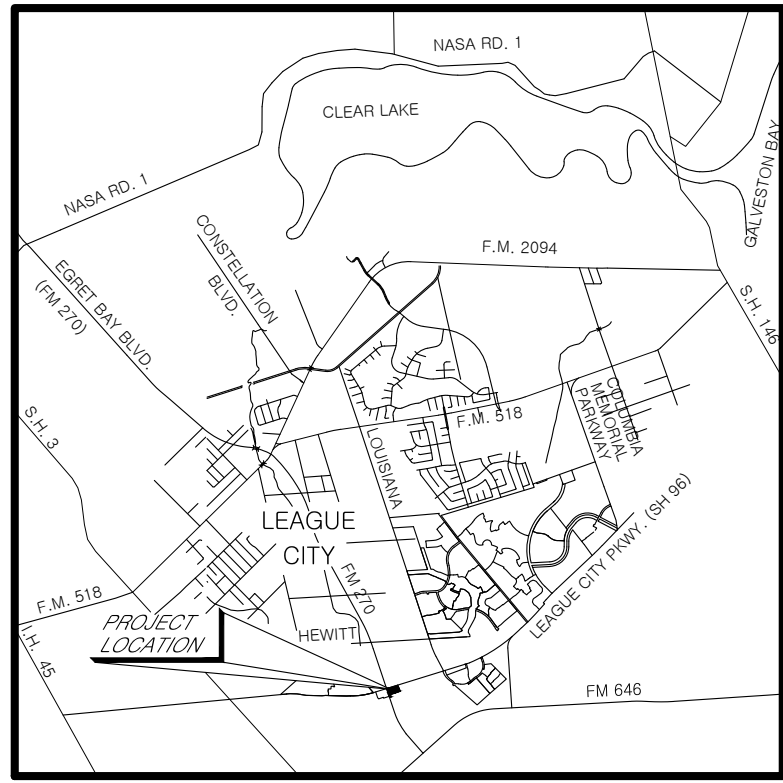
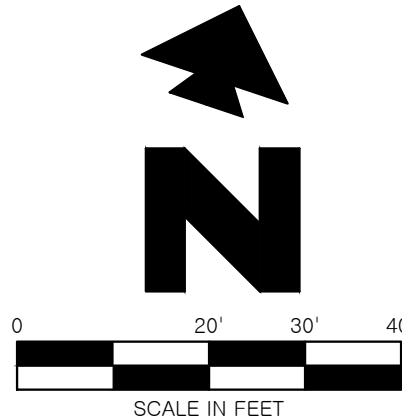
SITE & PARKING DATA	
SITE AREA	1.25 ± ACRES (54,258 S.F.)
TOTAL BLDG AREA	4,449 S.F.
PARKING REQUIREMENTS	2 SPACES PER SERVICE BAY (6 BAYS X 2 SPACES=12 SPACES)
TOTAL REQUIRED= 15 SPACES	1 SPACE PER 250 SF INDOOR SPACE (817 SF/250 = 3 SPACES)
PARKING PROVIDED	22 SPACES (2 ADA)
LOT COVERAGE PERCENTAGES	4.732 S.F. BUILDING AREA (8% OF TOTAL SITE AREA) 17,857 S.F. LANDSCAPE AREA (32% OF TOTAL SITE AREA)

NOTE:
A DEVELOPER OR PROPERTY OWNER CAUSING OR REQUESTING THE INSTALLATION OF ANY UTILITY, INCLUDING BUT NOT LIMITED TO ELECTRIC, TELEPHONE/TELECOMMUNICATIONS, TELEVISION, AND GAS, SHALL BEAR ALL COSTS FOR SUCH INSTALLATION AND SHALL CAUSE SUCH UTILITY TO BE PLACED AND MAINTAINED UNDERGROUND.

NOTE:
ALL COMMUNICATION AND ELECTRICAL SUPPORT EQUIPMENT (TRANSFORMERS, AMPLIFIERS, SWITCHING DEVICES, ETC.) NECESSARY TO SUPPORT UNDERGROUND INSTALLATION SHALL BE MOUNTED ON PEDESTAL OR PAD, OR PLACED UNDERGROUND.

NOTE:
ALL PROPOSED UTILITIES SHALL CONFORM TO THE LEAGUE CITY SUBDIVISION AND DEVELOPMENT REGULATIONS, INCLUDING ELECTRICAL SERVICE REQUIRED TO BE INSTALL UNDERGROUND.

SITE BENCHMARK
28°27'09" E, a distance of 63.87 feet to a 5/8 inch iron rod with cap stamped "Geosurv" found for the Northeast corner of said cut-back, from which point an iron rod with "TxDOT" cap found (disturbed) bears N 31°14' 2.35" feet.
N 71°27'06" E, along the Southeast right-of-way line of said League City Parkway, a distance of 166.78 feet to a 5/8 inch iron rod with cap stamped "Geosurv" found at the most northerly corner of the herein described tract.
S 18°32'50" E, along the common property line of Lots 1 and 2 of aforesaid TUDOR LAKES COMMERCIAL, SECTION 9-A, a distance of 258.51 feet to a 5/8 inch iron rod found at the Southeast corner of the herein described tract.
S 71°27'06" W, parallel with and 258.51 feet perpendicularly distant from the Southeast line of said League City Parkway, a distance of 213.49 feet to a 5/8 inch iron rod found at the Southwest corner of the herein described tract, said point also being at the Northeast right-of-way line of said Egret Bay Boulevard.



Vicinity Map

Not to Scale

LEGEND

EXISTING	
	EAST OR ELECTRIC
	NORTH
	OVERHEAD
	SOUTH OR SEWER
	TELEPHONE
	UNDERGROUND
	WEST OR WATER
	PROPERTY LINE
	RIGHT OF WAY LINE
	STORM DRAIN
	GAS
	OVERHEAD ELECTRIC
	OVERHEAD ELECTRIC AND TELEPHONE
	POWER POLE
	LIGHT POLE
	FIRE HYDRANT
	WATER VALVE
	BLOW-OFF VALVE
	MANHOLE
	UNDERGROUND VERIZON MARKER
	BOLLARD
	BENCHMARK
	SIGN
	IRRIGATION CONTROL VALVE
	BUILDING LINE
	G.C.C.F.
	G.C.D.R.
	G.C.M.R.
	I.R.
	OHT
	OHTV
	X'SS
	UGE
	UGE&T
	UGT
	UGTV
	X'W
	TREE INFO
	M.U.E.
	O.P.R.R.P.G.C.T.X.

PROPOSED	
	PROPERTY LINE/RIGHT OF WAY LINE
	CONCRETE CURB AND GUTTER. SEE DETAIL 01B.
	BUILDING CONTROL POINT
	PROPOSED PARKING SPACES

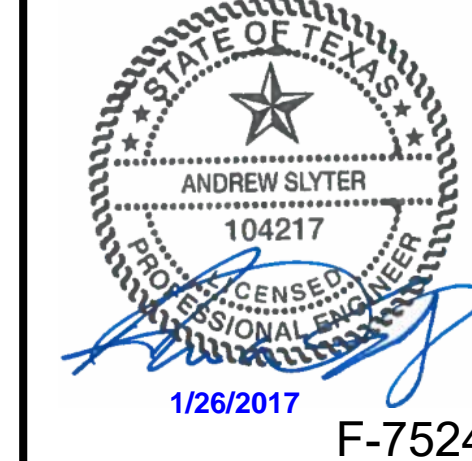
- GENERAL SITE NOTES**
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURB RETURN RADII SHALL BE 3' OR 45', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
 - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL CURBING ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 01B. PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL 08E OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES. ALL PARKING LOT STRIPING INCLUDING ACCESSIBLE AND VAN ACCESSIBLE SPACES SHALL BE PAINTED PER DETAIL 008 & 00E.
 - ALL PARKING LOT SIGN BASE SUPPORTS SHALL BE INSTALLED PER DETAIL 12E.
 - ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER DETAIL 008.

- SITE NOTES**
- 02B TRANSFORMER PAD (PER ELEC. CO. AND/OR ARCH. PLANS).
 - 02E TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS).
 - 12A 4 INCH TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL).
 - 12G 4 INCH WIDE PAINTED WHITE STRIPES. 2.0 FOOT O.C. @ 45 DEGREES SEE SIZE INDICATED AT SYMBOL.
 - 12J FINE LANE STRIPING PER LOCAL CODES.
 - 16E MONUMENT SIGN
 - 18D MATCH EXISTING PAVEMENT ELEVATIONS.
 - 20A REPLACE/RESTORE CURBS PER LOCAL CODES TO MATCH EXISTING.
 - 21A TAPER CURB TO MATCH EXISTING CURB.
 - 21B TAPER CURB FROM 6 INCHES TO 0 INCHES OVER 2 FEET
 - 70A FOUNDATION SUMP LIFT STATION
 - 70B SCREEN WALL FOR MECHANICAL EQUIPMENT

SITE DETAILS

01B	TYPE B CONCRETE INTEGRAL CURB AND GUTTER
02A	PRECAST CONCRETE WHEEL STOP
008	ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN
009	ACCESSIBLE PARKING SYMBOL
10A	TRAFFIC FLOW ARROW
10B	STOP BAR
12F	SIGN BASE
12G	STOP SIGN
70A	FOUNDATION SUMP LIFT STATION
70B	SCREEN WALL FOR MECHANICAL EQUIPMENT

FOR REVIEW



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(281)494-0360

FORTUNA FORTIS LUVAT, INC
EXPRESS OIL CHANGE
1315 E LEAGUE CITY PKWY
LEAGUE CITY, TX

REV DATE	1/25/17	SHEET NO.
REV-0	REV-0	C1

SITE PLAN