

WESTLEIGH BUILDER GUIDELINES

*** * * THESE GUIDELINES ARE SUBJECT TO CHANGE WITHOUT NOTICE * * ***

**ALL IMPROVEMENTS TO PROPERTY
ARE REQUIRED TO BE SUBMITTED TO
THE ARCHITECTURAL REVIEW COMMITTEE FOR WESTLEIGH (ARC)
FOR REVIEW AND APPROVAL PRIOR TO THE INCEPTION OF ANY
CONSTRUCTION.**

**FURTHER, IT IS THE APPLICANT'S RESPONSIBILITY TO ENSURE COMPLIANCE
WITH THE LATEST REVISIONS TO THESE GUIDELINES.
COPIES WILL BE MADE AVAILABLE UPON REQUEST TO THE ARC**

I. INTRODUCTION

Westleigh is a residential development of WPC Acquisition, Inc., a Texas Corporation ("Declarant" or "Developer"). Westleigh encompasses approximately 158 acres of land and is located in Galveston County, Texas.

Intent of Guidelines

The objective of these Builder Guidelines is to achieve quality and uniformity in building construction and to address certain items and areas which are common to residential construction and which the Westleigh Homeowner Association Inc. will exert strict control.

These Builder Guidelines are supplemental to the Declaration of Covenants, Conditions and Restrictions for Westleigh (CCRs) and are to be used in the architectural review of Builder plans. Non-compliance with these guidelines shall be grounds for disapproval of plans.

Builders within Westleigh are responsible for compliance with all applicable city, county, state and federal regulations.

The Builder Guidelines are intended for the use of the various Builders in Westleigh and the design professionals they employ. They are aimed at providing an attractive, coordinated physical environment both during and after construction. Design diversity is encouraged in order to create a pleasing street scene and to provide a separation of product line. However, certain standards have been adopted for key elements to provide continuity throughout the project.

The Builder Guidelines contain the construction and development standards adopted by the Architectural Review Committee for Westleigh and are subject to change without notice. However, lots or tracts purchased prior to any changes shall be grandfathered and not subject to the revisions unless agreed to in writing by Declarant as the developer for Westleigh and the Builder. These guidelines do not necessarily represent all of the restrictions which may be imposed on a specific lot or parcel of land. Failure to submit the required applications to the ACA (Architectural Control Authority) for review shall be construed as a violation of the Westleigh Builder Guidelines.

Prior to commencing design of a project, the property deed, the recorded subdivision plat and the CCRs should be referred to. In addition, Westleigh is located within the City of League City and is subject to League City's development ordinance and any other ordinance which League City may, by law, extend outside its corporate limits. The City of League City should be contacted prior to initial development to ensure compliance with all applicable regulations.

League City is located in Galveston County, Texas, and must adhere to any and all development regulations, including road paving and construction standards. In addition, Galveston County should be contacted regarding plan approval and permit procedures.

The Builder shall develop and maintain individual lots in a manner prescribed by the CCRs, recorded plats/replats, rules and regulations of the Westleigh Homeowners Association, Inc. and by these Builder Guidelines and standards. Compliance with building setback lines, lot layouts, driveways, sidewalks, garages, wiring requirements, etc. are the responsibility of the Builder.

WESTLEIGH BUILDER GUIDELINES FOR NEW RESIDENTIAL CONSTRUCTION

TABLE OF CONTENTS

I.	Areas of Application, Architectural Review Procedures	
A.	Areas of application.....	1
B.	Architectural Review Procedures.....	1
C.	Disclaimers.....	2
II.	Site Planning	
A.	Minimum Building Setbacks.....	3
B.	Lot Coverage.....	3
C.	Square Footage Requirements.....	3
D.	Corner Lots and Intersections.....	3
E.	Sidewalks, Front Walkways, and Steps/Retaining Walls.....	4
F.	Garage and Driveway Locations.....	6
G.	Fences and Gates.....	10
H.	Landscaping.....	13
I.	Lot Drainage.....	17
J.	Site Maintenance during Construction.....	17
K.	Lake Lots and Greenbelt Lots.....	17
III.	Architectural Design and Materials	
A.	Massing of Home/Scale/Proportions.....	18
B.	Exterior Elevations and Materials.....	18
C.	Entrances and Windows.....	19
D.	Roof Treatment and Overhangs.....	19
E.	Chimneys.....	20
F.	Garage Doors.....	21
G.	Address Identification.....	21
H.	Lighting.....	21
I.	Screening.....	22
J.	Exterior Colors.....	22
K.	Security Devices.....	22
L.	Structured Wiring.....	22
M.	Second Story Balconies.....	23
N.	Backyard Living.....	24
IV.	Model Homes/Model Home Park	
A.	Model Home Layout.....	25
B.	Maintenance: Model Home Exteriors & Landscaping.....	26
C.	Model Home/Builder Signage.....	26

WESTLEIGH
BUILDER GUIDELINES FOR
NEW RESIDENTIAL CONSTRUCTION

I. AREAS OF APPLICATION; ARCHITECTURAL REVIEW PROCEDURES

A. Areas of Application

These Builder Guidelines ("Guidelines") outline design goals, design criteria and the design review process for new home construction in Westleigh by Declarant.

It is anticipated that each Builder shall enter into a Builder's Lot Purchase Agreement (the "Sales Contract") with Developer. For previously purchased lots without improvements, these Guidelines and the Declaration of Covenants Conditions and Restrictions will apply.

All new home construction must be reviewed and approved by the Architectural Control Authority (the "ACA") appointed by Declarant prior to commencement of any building or construction activity. This approval can be secured in a timely fashion if applicable criteria specified in Sections II, III and V of this guide are met to the satisfaction of the ACA.

New home construction must conform to these Guidelines, to the Declaration of Covenants Conditions and Restrictions (the "Declaration"), to Sales Contract provisions; and to state and local building codes, zoning ordinances, or other governmental regulations (collectively "the Applicable Codes"). If provisions of these Guidelines are more restrictive than the Declaration, the Sales Contract or the Applicable Codes, the provisions of these Guidelines apply. If these Guidelines conflict with the Declaration, Sales Contract, or Applicable Codes; the provisions of the Declaration, Sales Contract or Applicable Codes apply. These Guidelines may be amended by addition, deletion, or re-issuance at any time by Declarant without consent of the Members.

Subsequent construction, exterior remodeling and/or expansion, and items not covered in these Builder Guidelines will be reviewed and approved by the ACA.

B. Architectural Review Procedures

The design for each home must be approved in writing by the ACA before construction of the home may begin. Any deviation from approved plans during construction, without the ACA's written approval, constitutes a violation. Corrections of such deviations may be required. Notice of approval shall be in the form of a letter from the ACA to the party submitting the plans. Copies of approved plans and approval letters will be kept on file by the ACA until completion of the development section. The ACA will review submissions and make every effort to give notice of approval or disapproval within five (5) working days following receipt and review of submissions.

The ACA meets as necessary to review design submittals. The Developer's Residential ACA Administrator will screen all submittals before calling a meeting of the ACA. The ACA will only review completed submittals. All drawings must be accurate enough to be scaled reliably. Faxed materials will be accepted for preliminary home design and plot plan approvals. Any variances, however, must be requested and granted in writing. Faxes will not be accepted in place of normal submission procedures. Submittals shall be sent to:

Westleigh Homeowners Association, Inc.

Only complete submittals will be reviewed. All drawings shall be drawn to scale. Faxed materials will be accepted for preliminary home design (approval of master set of plans) and plot plan change approvals only. Variances/Deviations must be requested in writing.

A. Plan Design: The ACA requires one set of the following for production home plan submittals

1. Floor Plans on 11" x 17" sheets.
2. Front Elevations on 11" x 17" sheets; all elevations must be shown and must include complete notations of all exterior materials (including but not limited to walls, doors, roof, windows, fascia, dormers, chimneys and decorative elements).
3. Notation of square footage.

It is the Builder's responsibility to assure that foundation plans are designed by a licensed professional engineer experienced in residential home construction.

Upon approval of a production home floor plan and series of elevations, only site/plot plan approvals are required for each home.

B. Site/Plot Plan: Each Site/Plot Plan must be approved in writing before construction of the residence can begin. Submittal must depict:

1. Locations, dimensions, and materials notations for walkways, driveway, patios, and all other exterior flatwork, including setbacks, easements, and building lines.
2. Lot coverage calculation, including the total area of all footprint areas of impervious cover as listed below, including all building foundations, walks, sidewalks, patios and driveways.
3. Proposed location, height, and material of each exterior fence or wall.
4. Lot number, block number, section number, and Builder name must be clearly printed on the first page of the submittal.

C. Disclaimers

These Guidelines are intended to describe a general level of conformance for development. The Guidelines and the procedures set forth herein may be modified or waived from time to time by the ACA and do not supersede compliance with applicable federal, state, county, or local laws and regulations.

These Guidelines set forth the requirements, procedures, and technical criteria used by the ACA for the review of site development plans and exterior building designs. Approval by the ACA does not constitute approval of or satisfaction of any governmental agency requirements. Compliance with these guidelines does not provide exemption from required state, county or local approval procedures.

All structures must conform to any state or local building codes, zoning ordinances, or other governmental regulations. If any provisions of these Guidelines are more restrictive than other applicable codes, the provisions of these Guidelines apply.

Neither the Declarant, Developer, ACA, nor their individual members, partners, employees, agents, or the successors or assigns of any of them shall be liable in damages to anyone submitting to them for approval of any plans and specifications or request for variances from the Guidelines, or to any owner or occupant of any parcel of land affected by the Guidelines, or to any third party, and the submission of plans or requests constitutes an express waiver and release of these third parties to the fullest extent permitted by law.

II. Site Planning

A. Minimum Building Setbacks

Site plans must conform to restrictions set forth in the Declaration; the recorded subdivision plat which shows building setback lines; easements dedicated by separate instruments; and all applicable government ordinances. In some cases, different setbacks may be enforced by deed restrictions, neighborhood architectural guidelines, and/or the ACA for aesthetic reasons. Developer reserves the right to modify setback requirements.

Typical building guidelines and easements are depicted in accordance with the recorded plat. In addition to these requirements, other setbacks are enforced by deed restrictions for aesthetic reasons.

Front yard building setback lines will be in accordance with the recorded plat.

The side yard building setbacks are 5 feet (5') on each side. Corner lot building lines are fifteen feet (15') from the side street property line unless otherwise shown on the recorded plat.

The rear yard building setback is ten feet (10'), or the width of the utility easement, whichever is greater. No building shall be located nearer than ten feet (10'), or the width of the utility easement from the rear property line. Encroachment by residential structures and garages is prohibited in utility easements. All setbacks shall be measured to the edge of building walls and not to the edge of the respective overhangs.

Front and side setbacks of lot varying sizes shall be determined on an as-needed basis and incorporated into these Guidelines by addendum.

Prior to placement of any forms, builder should review the most recently recorded plat and any recorded encumbrances for the specific lot to verify all setback requirements.

B. Lot Coverage

Total site coverage of building, walks/sidewalks, patios and driveways may not exceed 45% for two-story homes and 55% for one-story homes. These percentages are approximations and apply to all areas within the property lines. Lot coverage does not include flat work such as patio, driveways, sidewalks, walkways, swimming pools, pool decks and spas are not considered in the calculation for lot coverage for the purposes of these Builder Guidelines.

The open space on a lot must be left natural if in a wooded area. Regardless of whether a lot is located in a wooded area or plains area, the landscape criteria in Section II, Paragraphs H. and I. of these Guidelines must be met.

C. Square Footage & Dimensions

The following table represents the minimum square footages for each product line in Westleigh.

50-Foot Lot:	Minimum:
One Story	1,800
Two Story	2,100
<u>Maximum</u>	<u>3,000</u>

60-Foot Lot:	Minimum:
One Story	2,200
Two Story	2,600
<u>Maximum</u>	<u>N/A</u>

D. Corner Lots and Intersections

1. Corner Lots

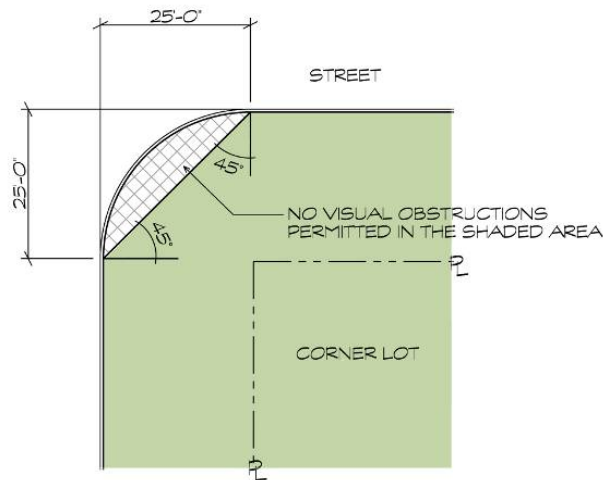
Lots siding on standard interior street corners shall have a fifteen foot (15') side street building setback (unless otherwise shown on the recorded plat), a twenty foot (20') front building setback (unless otherwise shown on the recorded plat), and a ~~ten foot (10')~~ five feet (5') building line on the interior lot side.

The rear yard building setback is ten feet (10), or the width of the utility easement, whichever is greater. No building shall be located nearer than ten feet (10'), or the width of the utility easement from the rear property line. Encroachment by residential structures and garages is prohibited in utility easements. All setbacks shall be measured to the edge of building walls and not to the edge of the respective overhangs.

Garages and driveways on corner lots shall be located adjacent to the interior property line not the property line adjacent to the side street. "Side out" garages to a side street are prohibited.

2. Intersections

An area of open space is required at all corner lots where intersections occur. These intersections shall be unobstructed to permit pedestrian and vehicular view when near an intersection. No trees or other potentially opaque landscaping is permitted in this area. This shall be twenty-five feet (25) in distance from each street at the corner **[Figure 1]**.

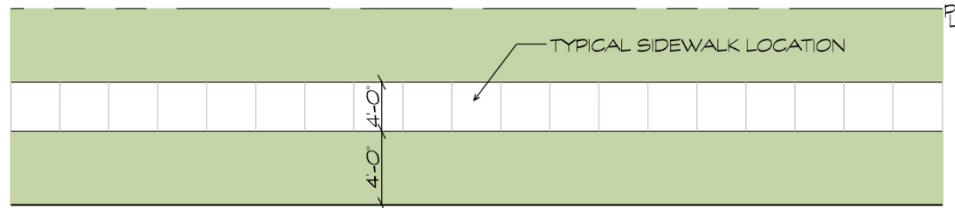


CORNER VISIBILITY
Figure 1

E. Sidewalks, Front Walkways, and Steps/Retaining Walls

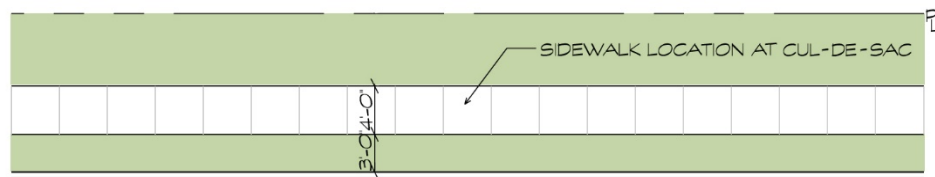
1. Sidewalks [Figures 2-4]

Sidewalks are to be constructed by Builders within street rights of way (R.O.W.) frontage to all front or side property lines adjoining street R.O.W. The sidewalks shall be four feet (4') in width and shall be located four feet (4') from back of curb [Figure 2]. Sidewalks shall be located three feet (3') from back of curb on all cul-de-sacs [Figure 3].



TYPICAL SIDEWALK LOCATION

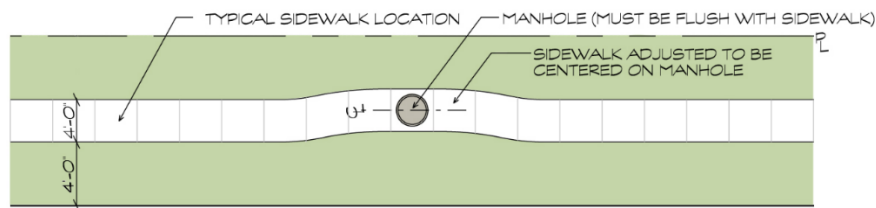
Figure 2



SIDEWALK LOCATION AT CUL-DE-SAC

Figure 3

- Construction and location must conform to Galveston County and League City construction standards. Construction must be a "picture-frame finish" applied to driveway and walkway areas that intersect the sidewalk in order to achieve a continuous look.
- Sidewalk shall continue uninterrupted visually through both front walk paving areas and driveways. Sidewalks through driveways shall be five feet (5') wide, maximum 2% cross slope. The additional one foot (1') width of the driveway sidewalk shall be located closest to the lot. Sidewalks shall run continuously through front walkways and driveways, with broom finish and trowel border.
- Curved sidewalks are permitted only where streets curve, right-of-way width changes or other site factors necessitate. Gentle curves sections only shall be permitted.
- Where walkways intersect manholes, the sidewalk should be adjusted such that the manhole is centered in the sidewalk. The elevation of manholes or other objects located within a sidewalk shall be adjusted to maintain a flush surface with the sidewalk. This will typically require the removal and resetting of the manhole ring [Figure 4].



SIDEWALK LOCATION AT MANHOLE

Figure 4

2. Front Walkways

- a. The walkway from the street curb or driveway to the front door is required and shall be three feet (3') to five feet (5') in width with a continuous slope from the edge of the porch to the street.
- b. Materials may be concrete, non-slip brick pavers or natural stone. Patterned concrete is not acceptable.
- c. Any curvilinear elements should be shown on the site plan.

F. Garage and Driveway Locations

1. Definitions:

- a. *“Three Car Front-Load Garage”* or *“Garage”* shall mean and refer to a garage with three bays side-by-side that face toward the front of the home, with front-facing garage doors which provide for free and unencumbered access by owner’s motor vehicles.
- b. *Premium Lots* “Garage Bay” or “Bay” shall mean and refer to a standard 10’ x 20’ Garage Bay. Garage Bays may be wider or deeper based on the configuration of the residence. However, the Garage ~~must~~ may retain the appearance of having two or three standard Garage Bays. For the purposes of this Addendum, reference is made to the “Main Bay” which is a double Bay with a double garage door and the “Third Car Bay” which is the single bay with a single garage door. Regular lots may have a standard two car garage bay with one side being double the standard depth to accommodate three cars.

2. Massing of Home/Scale/Proportions

- a. All homes in Westleigh must have a minimum two-car front-facing attached garage. ~~Where home plans with three-car garages are chosen, these plans must have at least a two-car garage with double deep load for three cars.~~
- b. ~~Any~~ Three Car Front-Load Garages are permitted and shall be integral to the overall architecture of the home and appropriately designed for the lot size.

3. Garage Doors

- a. Builder will be required to use one single garage door for the Third Car Bay and one double garage door for the Main Bay. The doors may be either seven (7) or eight (8) feet in height.
- b. Color, trim and hardware for each garage door is to be identical.

4. Driveways [Figures 6-8]

- a. Design:

All driveway designs are subject to review by the ACA.

- b. Location:

A driveway master plan for a development section may be provided by Developer. Location variances may be requested in writing and must include justification for deviating from the desired

driveway location (such as construction conflicts of inlets, fire hydrants, flushing valves, manholes, etc.).

c. Curb Conditions:

Where four inch (4") mountable curbs are utilized, no saw cuts are permitted. Where six inch (6") barrier curbs are utilized, in accordance with city or county standards, saw-cut street and curb and tie in driveway steel. Builder is solely responsible for realigning grade of the gutter flow line in accordance with regulations and shall repair damaged curbs and gutters which cause ponding water ("bird baths") resulting from their construction activities.

d. Alignment:

Driveway must be perpendicular to the street with a five foot (5') radius on driveway apron. The joint will be constructed in conformance with Galveston County and League City requirements.

e. Width:

Driveway is to be seventeen feet (17') wide at front property line. Refer to **[Figures 6-8]** for Three Car Front Load garage driveway transition alignment. Any variations are subject to ACA review and approval.

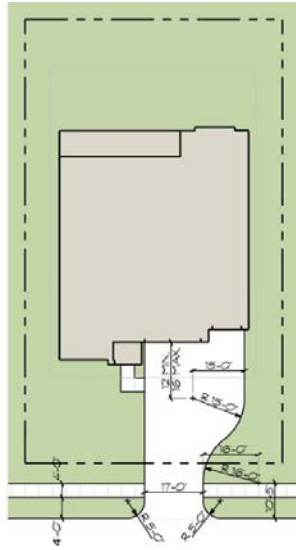
f. Materials and Finish:

Concrete or other masonry materials (e.g. interlocking pavers, and brick borders) relating to the architecture of the home and other site materials. Materials other than standard concrete must be submitted to the ACA for approval. Where the driveway intersects the sidewalk, the driveway finish may not continue through the sidewalk.

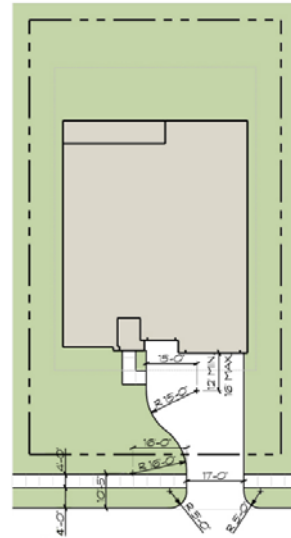
g. Dimensions:

Typical driveways shall be no more than one foot (1') on either side of the Garage at the front of the home. This would result in a driveway width no greater than thirty (30) feet at front building line (typically smaller).

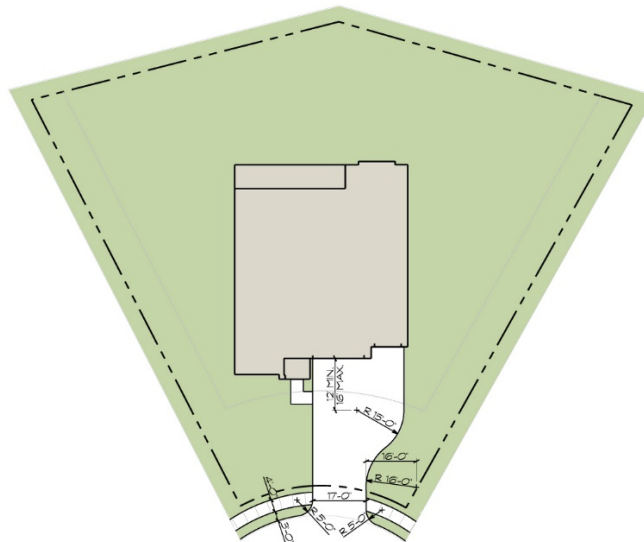
Driveways shall be no more than seventeen feet (17') wide at the sidewalk. Builder shall use radii of sixteen feet (16') and fifteen feet (15') to transition the driveway from its seventeen foot (17') width at the sidewalk to its full width at the garage. The transition shall always take place on the single car garage door bay.



3-CAR GARAGE DRIVEWAY ALIGNMENT A
Figure 6



3-CAR GARAGE DRIVEWAY ALIGNMENT B
Figure 7



3-CAR GARAGE DRIVEWAY ALIGNMENT AT CUL-DE-SAC
Figure 8

G. Fences and Gates

1. Wood Fencing Guidelines

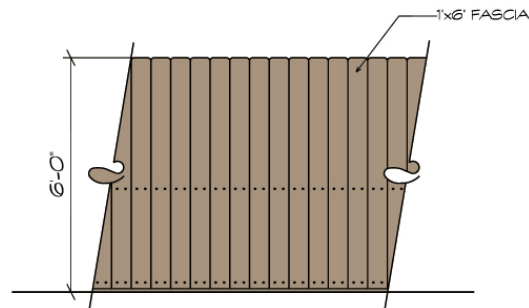
a. Materials:

All wood fences are to be constructed with quality, new wood, consisting of treated pine posts and stringers, with posts on eight foot (8') centers and three (3) stringers. All other material shall be No. 2 grade cedar.

- Standard Fence – Standard Fence shall have three (3) stringers. The top stringer shall be sixteen feet (16') to prevent sagging. Pickets to be No. 2 grade one inch (1") by six inch (6") cedar. No other materials are acceptable. **[Figure 9]**
- Corner Lots - Capped wood fences will be required on corner lots. Capped wood fences shall have three (3) stringers, with a two inch (2") by six inch (6") cap, one inch (1") by six inch (6") fascia and one inch (1") by two inch (2") trim affixed to the top stringer. **[Figure 10]** See landscape guidelines for required ligustrum hedge along corner lot side fence.

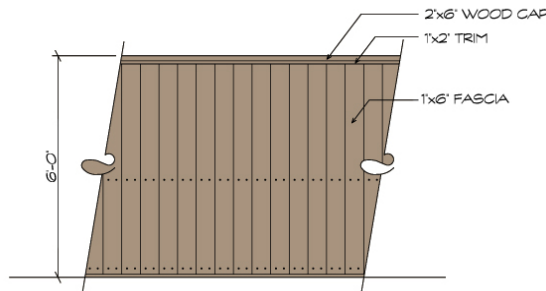
b. Height:

Fences are typically limited to six feet (6') nominal measurement above natural grade. Builder may be required to construct eight foot (8') high fences where perimeter conditions warrant. Builder will get approval from Developer prior to constructing any fence taller than six feet (6').



STANDARD WOOD FENCE

Figure 9



CAPPED WOOD FENCE

Figure 10

c. Location:

- Interior Lots:

Fence must be set back at least fifteen feet (15') from the front of the home, but no further back than the mid-point of the home. **The finished side of a fence should always face the public view.** A "good neighbor" fence policy is required for all privately viewed conditions. Alternating sections are to occur at regular fence post intervals only, so that an entire panel is dedicated to one lot and the following panel is dedicated to the adjacent lot and so forth. In this manner, both lots receive approximately the same exposure to finished sides of a picket fence structure.

- Corner Lots:

Fence must be located halfway between the property line and the building line. For example, if a corner lot building line is fifteen feet (15'), the fence must be located seven and one-half feet (7.5') within the property, not on the property line.

The fence perpendicular to the side street (parallel to the front street) may be set back as necessary to provide for access to public utility meters, but must be far enough forward to screen the air conditioning units. The finished, or "picket" side of the fence must face the side

street and the fence shall be capped. However, in no case may the fence be closer than five (5) feet behind the front of the home, and further back than the mid-point of the home.

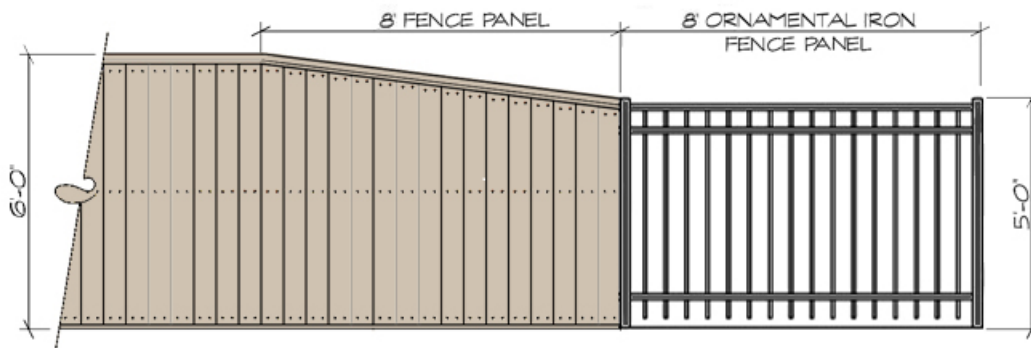
d. Special Conditions:

The finished side of a fence should always face the exterior or public side. Any exposures to public roads, greenbelts, ditches, or detention basins will be considered public view. In situations where good neighbor (interior to lots) fence is required and can be seen from public it is understood that the fence shall remain good neighbor.

Where residential lots are located adjacent to either a commercial, institutional, or other more public use, the finished side of a fence should always face the non-residential use.

f. Fence Height Transition:

Where six (6) foot wood good neighbor or side fence meets five (5) foot ornamental iron back of lot fence (Greenbelt and Lake Lot Conditions) there shall be a sixteen foot (16') transition from wood to ornamental iron **[Figure 12]**.



WOOD FENCE TRANSITION
Figure 12

2. Ornamental Steel Fence Guidelines **[Figure 13]**

a. Location:

Ornamental steel fencing shall be required on all front fencing and on the rear property line of lots adjacent to water bodies, amenity lakes and greenbelts, and all gates must face the street

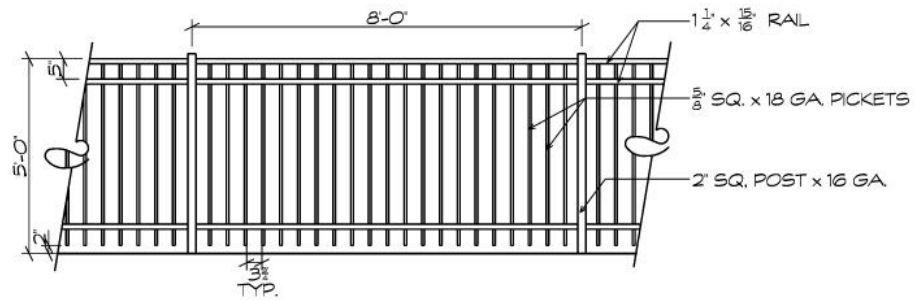
b. System Description:

Fence shall be **Ameristar® Montage ATF™ Welded Ornamental Steel Majestic™ 3R EXT 5'T 8'W, Black** (or another suitable type approved by the ACA). It shall be installed in accordance with manufacturer's specifications for fence series. Pedestrian gates are allowed, but not required on all lake and greenbelt lots. The gates shall not exceed forty inches (40") in width, inclusive of gate hardware.

Fence is three (3) rails and the height of fence shall be five feet (5') measured from natural grade.

c. Quality Assurance:

System shall be installed by contractor thoroughly familiar with the type of construction involved, materials and techniques specified.



ORNAMENTAL STEEL FENCE

Figure 13

- d. Breezeway fences connecting detached garages to the main residence may be ornamental steel or wood. Fence may be four feet (4') or six feet (6').

Figure 14

3. Gates

- a. Gates shall be constructed with the same materials and quality as the adjoining fence. If the adjoining fence is ornamental steel, all hardware shall be painted the same color as the fence.
- b. Pedestrian gates may not exceed forty two inches (42") in width.

H. Landscaping –

Yard Trees

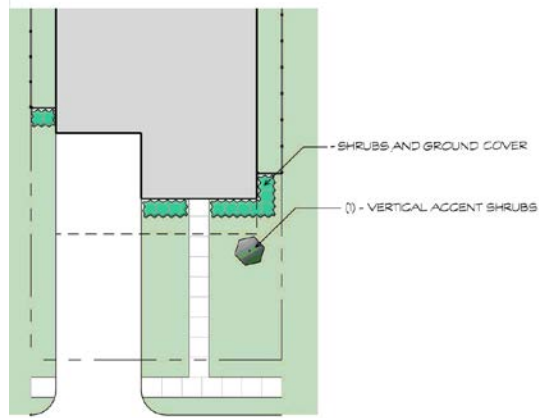
- Yard trees will be required for each home. Placement of trees on Standard Interior Lots and Corner Lots are illustrated on Figure A. Corner Lots have different criteria for different lot widths. See below.

Yard Trees	
Required Quantity	Described above
Species:	Burr Oak, Live Oak, Nuttall Oak, Shumard Oak, Red Oak, Water Oak, Mexican Sycamore, Bald Cypress, Holly, Loblolly Pine, Japanese Blueberry, Magnolia or other trees approved by ACA.
Size:	65 Gallon - minimum 3" caliper
Height:	Minimum 10'-12'
Spread:	Minimum 5'-6'

- Interior, Corner and Cul-de-Sac Lots:
 - One (1) yard tree is required for 50' wide lots and two (2) yard trees are required for 60' wide lots.

Other Vegetation [Figure B]

- In addition to the tree requirements above, individual lots must meet the following minimum requirements.
 - At least the following shall be installed per lot in the front yard:
 - Minimum fifteen (15) Evergreen Shrubs - Type and Size outlined below. Evergreen shrubs are to be located in the back one-third of the yard, closest to the home.
 - Minimum Twelve (12) Flowering Shrubs – Type and Size outlined below. Flowering shrubs to be located as accents to Evergreen shrubs.
 - Minimum Two (2) Ornamental Tree/Vertical Accent Type and Size outlined below. Preferred location of Ornamental/Vertical Accent trees is within the landscape bed. Ornamental tree does not count as a yard tree.
 - Shrubs adjacent to rear yard fencing may be eliminated only as needed to provide gate access to the rear yard.
 - Minimum Twenty (20) Small Ground Cover – Type and Size outlined below.



Front Yard Landscape Bed
Figure B

- The scrubs and ground cover are in addition to the foundation scrubs required; and are as follows:

APPROVED PLANT LIST FOR ACCENT TREES & PLANTING ISLANDS

TYPE A Accent Trees 30 gal.	TYPE C Shrubs 5 gal.	TYPE D Groundcovers 1 & 2 gal.
Bald Cypress	Butterfly Bush	Asian Jasmine
Burr Oak	Esperanza	Bulbine
Live Oak	Gulf Coast Muhly	Hamelin Grass
Mexican Sycamore	Indian Hawthorne	Iris spp.
Nuttall Oak	Knock Out Rose	Lantana spp.
Shumard Oak	Mexican Bush Sage	Mexican Feather Grass
Water Oak	Miscanthus Grass	Wedelia
Bald Cypress	Nearly Wild Rose	Weeping Rosemary
Holly spp.	Plumbago	
Pine spp.	Purple Fountain Grass	
Japanese Blueberry	Texas Sage	
Magnolia spp.	Upright Rosemary	

Grass Coverage

- All areas exposed to public view (public rights of way, greenbelt views) shall be solid-sodded with Saint Augustine grass.

I. Lot Drainage

1. Type "A" and Type "B" Drainage

- a. Lots with Type "A" drainage achieve positive site drainage of $\pm 1.0\%$ from the rear of lots to the street as dictated by the approved Drainage Plan.
- b. Lots with Type "B" drainage achieve positive site drainage by draining a portion of the lot to the rear of lot as dictated by the approved Drainage Plan.
- c. Unless otherwise approved in writing by the ACA, all drainage must follow the agency-approved Drainage Plan for the subdivision.

2. Additional Drainage

- a. When a home structure is in place on a given lot, positive drainage is to be directed away from the home structure.
- b. Drainage runoff onto adjoining properties is prohibited, except as provided in the approved Drainage Plan.

3. Protective Swales & Localized Drainage

- a. The construction of protective swales is required on all lots.
- b. In the event the lots do not drain after the installation of swales, area drains may be required.

J. Site Maintenance during Construction

General Maintenance – Each lot shall be maintained in a neat, clean orderly condition by the builder during construction and until the home is closed. Building debris must be removed from each lot by Builder as often as necessary to maintain attractiveness of the construction site. Debris may not be dumped in any area of the development unless a specific location for such a purpose is approved in writing by the ACA. Each Builder will maintain their own concrete washout during the period that homes are under construction. The Builder must use best management practices to minimize silt from flowing into the streets. The Builder will construct and maintain a "fenced" area within the boundaries of each lot to be used as a trash receptacle. The "fenced" area can be constructed with orange construction fencing.

K. Lake Lots and Greenbelt Lots

Homes adjacent to greenbelts and lakes should be designed to maximize views to these amenities. Detached garages are prohibited on lake lots. Rear elevations of both custom and production lake-front homes shall have materials equal to front elevations.

III. Architectural Design and Materials

A. Massing of Home/Scale/Proportions

The massing of a home should be reasonably scaled to the street and the surrounding homes. Homes should have massing variations and avoid the “straight box” design. Pieces of the home should be scaled appropriately to each other. In production home programs, attached garages shall protrude no more than ten (10) feet from the front plane of the main residence. In custom home programs, attached front loading garages should be recessed from the front plane of the home with architectural detail.

B. Exterior Elevations and Materials

1. Exterior Elevations

Exterior elevations shall include a variety of major and minor architectural features. Major architectural features include but are not limited to: roof pitch or style (i.e. hip, gable), porches, dormers, entry portico, change of material and window bay. Minor architectural features include but are not limited to: window style (i.e. flat or arched), front door style, garage door style, shutters and decorative detail (i.e. gable inset). To be considered distinct from a similar elevation, an elevation shall include two (2) major architectural differences and two (2) minor architectural differences.

Flat, blank elevations on any side shall not be allowed. Windows must occur on all street facing elevations of homes

2. Repetition of Elevation

Elevations in production home portfolios should: avoid monotony, maintain continuity of scale and character, avoid the negative “look-alike” effect of frequent repetition and allow sufficient latitude for the builder in satisfying market demand. Builders must conform to the following:

- a. Plan repeat with the same front elevation design: every ~~fifth~~fourth consecutive lot. Thus, at least ~~four~~three other homes must occur between the next repeated same front elevation. Different brick and trim color of repeated elevation is also required.
- b. Plan repeat with different front elevation: every third consecutive lot. Thus, at least two other homes must occur between the next repeated floor plan with a different front elevation design. Differ brick and trim color.
- c. The ACA reserves the right to reject an elevation that closely resembles that of a nearby home or in any way detracts from the overall street scene. Additionally, identical brick color and type, and siding color, are prohibited on homes that are adjacent to one another. A custom home may not be repeated within any given section.

3. Exterior Materials

No more than three exterior wall materials are allowed. All exterior walls on the first floor shall be brick, stone or stucco. On two-story homes, the front must be predominantly brick, stone or stucco. Where a home incorporates siding or a similar non-masonry material on the second story side elevation(s), the masonry material on the front of the home must wrap around the side for a distance of a minimum of thirteen (13) feet from the front elevation. ~~—On side elevations of the second story, approximately a thirteen foot (13') wrap of the brick, stone or stucco on the side elevation is required.~~ Brick, siding and trim colors are addressed in Paragraph J. Homes adjacent

to [exterior roadways](#), greenbelts and lakes shall have rear elevation materials equal to front elevations.

- a. Brick: Brick shall be hard-fired and have an overall appearance of relative evenness in color and texture. Painted brick may be permitted where deemed appropriate by the ACA for a particular architectural style.
- b. Siding: Where siding is used, it shall be fiber-cement, horizontal lap siding, eight inch (8") exposure (*Hardiplank® Select Cedar Mill* or equivalent) [or board and batten](#). Diagonal siding, ~~board and batten~~, and [4x8](#) panel siding are prohibited. Wood, vinyl, metal, and particleboard are prohibited siding materials.
- c. Trim: All trim shall be smooth/semi-smooth, high quality finish grade stock wood or fiber-cement (*Harditrim® Select Cedar Mill*, *Harditrim® Smooth*, or equivalent).
- d. Stucco: Stucco is permitted if appropriate to the style of architecture and if approved by the ACA.
- e. Stone: Stone veneer may be natural cut stone or manufactured stone veneer such as *Cultured Stone®*.
- f. Synthetic Materials: materials such as metal siding, vinyl siding, and other materials which have the appearance of wood, or stone must be reviewed to ensure a quality appearance for approval by the ACA.
- g. Material Changes: Changes to exterior wall material should have a logical relationship to the massing of the home. Material changes on a common wall plane that occur along a vertical line should be [minimized or](#) avoided wherever possible.
- h. Awnings: Awnings over entrances or windows are prohibited.

C. Entrances and Windows

All openings in a structure such as windows and doors should relate to each other on all elevations both vertically and horizontally. This should occur in some clearly defined order, and scattered or random placements should be avoided. Both entrances and windows should be in proportion as they relate to the building mass as a whole. All sides of a home should receive equal design consideration. Reflective glass is prohibited.

1. Entrances

Entrances should be the focal point of the elevation which they serve. Although two-story entryways are allowed, the creation of a focal point at the entry through the use of human scaled entry elements is suggested. Recessed or protruded one-story elements add to the architectural detail of the home. Regardless of the scale selected, entrances should always relate to the overall architectural character and quality of the home. Siding is not allowed in the front entry.

2. Windows

Windows, like entrances, should be compatible with the overall building mass and architectural character and quality of the elevation.

If shutters are incorporated as part of the design, they should be appropriately scaled to relate to the window opening and appear authentic. They must also always occur in pairs. The shutter color must harmonize with the other colors on the home. Where shutters are used on a home located on a corner lot, they should occur on the side street elevation as well as the front.

Windows on the front elevation (first and second floors) must be consistent with the design of the elevation of the homes. Windows on other elevations may be divided lite or single pane, bronze or white bronze.

|

D. Roof Treatment and Overhangs

1. Materials

25-year warranty, three-dimensional composition asphalt shingles. All shingles within a given neighborhood shall be the same color.

2. Form

- a. The form and massing of the roof should have a logical relationship to the style and massing of the home. Roof pitches should be applicable codes, but must be a minimum of 8 in 12 when viewed from the front of the home and 6 in 12 when viewed from the side of the home. **Exceptions to these roof pitches may be made with prior approval of the ACA**
- b. The roof height should not exceed $\frac{3}{4}$ of the total elevation area for single story homes and $\frac{1}{2}$ the total elevation area two story homes.
- c. Fascia depths should be in scale with the mass of the elevation, but the face of the fascia board must be at least six inches (6") (nominal) in size.

3. Overhangs

- a. Overhangs should be compatible with the architecture of the home and function as shading devices. Care should be taken not to exaggerate their lengths or provide too small an overhang. Overhangs should be more pronounced on eave conditions while rake conditions should receive a much more moderate overhang.

4. Roof Penetrations

- a. Roof vents, utility penetrations, or other roof protrusions must be painted to match the singles. Skylights should not be visible from the front street.

5. Gutters & Downspouts

- a. Gutters and downspouts should be strategically placed to minimize their visibility to the front street. Preferably, downspouts should occur only at the rear and sides of a home. Placement on the front elevation shall be avoided as much as possible, but may be used to avoid water runoff at front entrances.
- b. Gutters and downspouts must match or be very similar to the color of the surface to which they are attached. Downspouts must be installed vertically and in a simple configuration. All gutters and downspouts on standard lots must be installed so water runoff does not adversely affect adjacent properties.

6. Exposed Roof Metal /Antennas

- a. All exposed stack vents, skylight curbs, attic ventilators, and other metal roof accessories shall match or closely resemble the roofing color.
- b. All stack vents and attic ventilators shall be located on the rear roof slopes perpendicular to the ground plane. They shall not be visible from public areas and should be placed in a location which is least visible from adjoining property.
- c. Roof-mounted ventilators shall be no higher than 10 inches above the roof surface.

E. Chimneys

If chimneys protrude from an elevation and are located on the front elevation, the side-street side elevation of a corner lot or the rear elevation on a lake, or greenbelt lot, the chimney must be brick, stone or stucco, in conformance with the architecture. Prefabricated metal flues should be clad in approved materials to create the image of a traditional masonry chimney. The use of wood or fiber-cement siding is not allowed.

If a chimney is interior to the roof (not on an external elevation) or at the rear or non-corner side of a home, it must be constructed of materials that match the architectural style and color of the home. Acceptable materials include masonry, brick, stucco, wood or fiber-cement siding.

Spark arrestors and caps are required on all chimneys. The spark arrestor and cap should be unadorned, non-ornamental and designed to match or be compatible with the color and material of the exterior elevations of the home. Caps must be of metal or masonry construction.

Heights of chimneys shall meet all fire code requirements and be proportional to the roofline of the respective home. Metal chimneys, if used, shall not exceed a maximum exposed height of 6 inches of chimney pipe nor a maximum height of 18 inches of total exposed metal including both chimney pipe and cap.

[Direct vent fireplaces are permitted.](#)

F. Garage Doors

Garage doors should be relatively unadorned while remaining compatible with the architecture of the home and elevations. Panel doors are encouraged to help downscale the effect of a garage door.

G. Address Identification

1. Visibility
The address number must be visible from the street. The scale of the address number may vary according to the scale of the home, but may be no larger than 6 inches (6") in height and must be placed in a horizontal line. The street name is not permitted on the exterior of the home.
2. Style
The specific style shall be as approved by the ACA and the numbers must be Arabic and must be easily read from the street.
3. Location
The number for address identification should be inset into the brick either next to the front door or on the front of the home. Internally-lit address numbers are not permitted.

H. Lighting

The type, color, and quality of exterior lighting for the site and home must be consistent with other lighting on the property and in the neighborhood. Incandescent lighting is preferred. However, the ACA recognizes that new lamps and bulbs are available and will review alternative types. No high-wattage, commercial/industrial-type fixtures, mercury vapor, or sodium-vapor light sources are allowed in any location.

1. Floodlighting

Floodlighting fixtures must be attached to the home or other architectural structure and must not illuminate adjacent public or private properties. Lights must be directed downward and shielded to avoid "hot" glare spot visible by neighbors. Fixture and shield color should be compatible with the building. Conduits and wiring must be concealed.

2. Exterior Lighting Fixtures

All exterior light fixtures visible from the street or other public areas must be of an understated design that complements the architectural style of the residence.

3. Walkway Lighting

Walkway lighting should be an inconspicuous bollard or dome light design. The lamp may be incandescent (100w maximum), quartz (75w maximum), metal halide (75w maximum), fluorescent (25w maximum), or white L.E.D.

I. Screening

Fences, walls and landscaping are acceptable screening materials. All wood fences must be constructed in accordance with these Builder Guidelines.

1. A/C Equipment & Home Generators

On corner lots, side-lot A/C compressors and/or home generators must be enclosed behind the side lot fence. On interior lots, A/C compressors and/or home generators may be enclosed in the side lot fence or screened from public view by landscape materials.

J. Exterior Colors

Color variety among homes is required. The ACA shall determine whether near or adjacent homes' brick or trim colors are too similar to allow. No more than three colors (plus brick or stone color) shall be permitted. Trim color and field color must vary.

1. Paint

Exterior paints and stains shall complement colors of other materials. Siding and trim should generally stay within the earthtone color family. White and cream trim is permitted. Extremely bold or primary colors are prohibited. Bright yellow, blue, or green pastels are not allowed. Soft, muted earthtone pastel colors are acceptable.

2. Brick

Acceptable brick colors are in the earthtone color family. Very dark colored brick is discouraged. No one brick color should dominate a particular street scene. Variety in brick color is strongly encouraged. A brick color may be repeated every fifth home including same and opposite side of street.

3. Stone Veneer

Stone Veneer shall be natural limestone or manufactured stone of similar color other regional stone color deemed appropriate with the project character as approved by the ARC.

K. Security Devices

No security devices such as sirens and speaker boxes shall be visible from a public view and should be located inside the home. Security devices should be the minimum effective size and be located unobtrusively. These Builder Guidelines also prohibit security and/or burglar bars on the exterior of homes unless specifically approved by the ACA prior to installation.

L. Structured Wiring

“Structured Residential Wiring” is a centralized method of organizing and distributing coaxial cabling, data and security wiring from a central distribution point for flexibility, accessibility and future expansion for each home.

1. Cabling

- a. Telephone and Data Cable: Category 5 Enhanced (“Cat 5E”) solid wire, UTP, Type CMR. As appropriate, Builder should use shielded or plenum rated Cat 5E. Cabling shall be terminated to EIA/TIA standards for phone and data interchangeability.
- b. Video Cable: RG-6 dual coaxial cable (“RG6”).

2. Installation Criteria

- a. Installation shall be in accordance with manufacturer’s recommendation. Installers should demonstrate satisfactory knowledge of, and construction should be in general compliance with ANSI/EIA/TIA Residential Structured Wiring Standards.
- b. Certification of each home network is not required.

3. Distribution Panel

- a. All cabling is to be home-run to a 14” x 28” Distribution Panel which is to be located in climate controlled space within the home. The size of the distribution panel will provide room for installation of routers and such devices by homeowner.
- b. A dedicated 110v AC electrical outlet shall be located within the Distribution Panel.

4. Service feed to Network Interface Device(s)

- a. The Network Interface Device (NID) is a device that serves as the demarcation point between the phone and cable providers’ point of service and the Distribution Panel. NIDs are typically provided by the cable and phone providers.
- b. Service feeds from the NID to the Distribution panel are to be made with two (2) Cat5E and two (2) RG6 cables. Service feeds will be made available to cable and telephone providers.

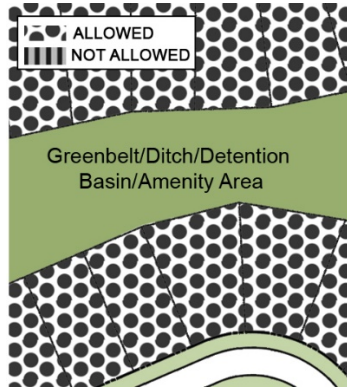
5. Distribution Points

- a. Minimum Distribution Points include family room, living room, computer alcove, master bedroom, media room, and library.
- b. All Distribution Points are to be terminated with a minimum of one (1) data and one (1) video outlet. Additional data and video are recommended in family rooms or entertainment centers.

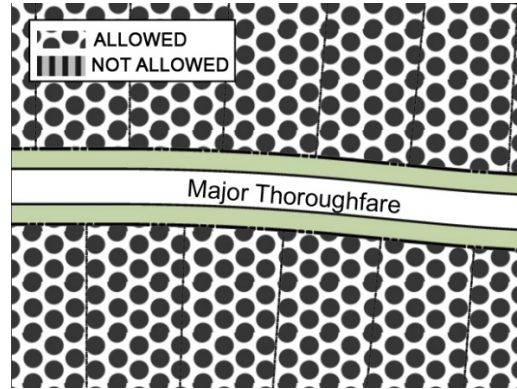
M. Second Story Balconies

1. Allowed [Figures 22-23]

Second story balconies will be allowed on the back of the homes when the back of lot faces greenbelts, ditches, detention basins, amenity areas, or major thoroughfares.



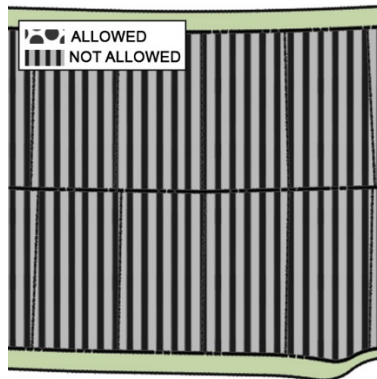
SECOND STORY BALCONY
ALLOWED
Figure 22



SECOND STORY BALCONY
ALLOWED
Figure 23

2. Not Allowed [Figure 24]

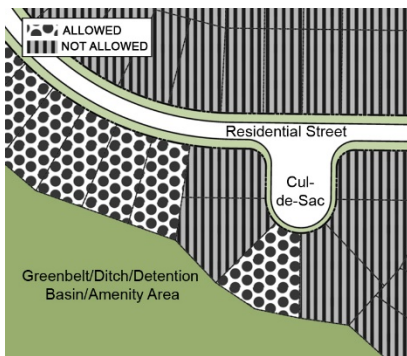
Second story balconies will not be allowed when the back of lot faces another lot.



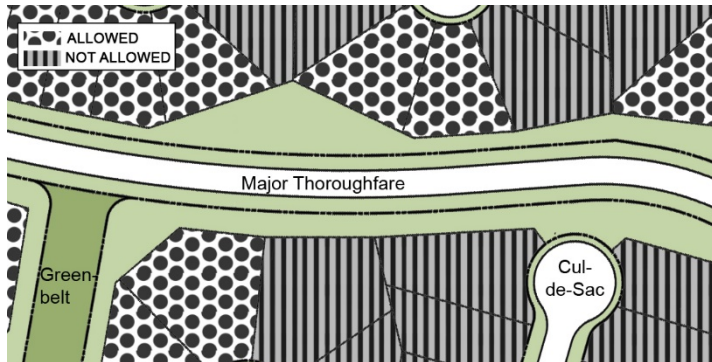
SECOND STORY BALCONY
NOT ALLOWED
Figure 24

3. Special/Mixed Conditions [Figures 25-26]

Second story balconies will **not** be allowed when the back of lot faces another lot **and** a greenbelt, ditch, detention basin, amenity area or major thoroughfare.



SECOND STORY BALCONY
SPECIAL/MIXED CONDITIONS
Figure 25



SECOND STORY BALCONY
SPECIAL/MIXED CONDITIONS
Figure 26

L. **Backyard Living**

1. Concrete Patios

A concrete patio that has an exposed foundation that is greater than one foot (1') in height should be covered with masonry which matches, or is complimentary to the masonry of the residence.

2. Decks

- a. All decks are assumed to be rear or side yard and are subject to review by the ACA.
- b. Decks should be constructed no closer than five feet (5') from the adjoining lot on the side and eight feet (8') from the rear.
- c. Wood decks that have an exposed area below that is greater than two feet (2') should be screened from view with lattice or other decorative screening. Each lattice panel should have a minimum thickness of 3/8 inch and be framed.
- d. In order for a wood deck to appear compatible with the residence, a sub-structure that is skirted with the same materials that are used on the house is encouraged.
- e. If a deck is a second story deck, where a second story deck is permitted [Figures 22-26], and the wall below the deck has windows or is 100% finished, then screening is not required. The deck support structures should be designed to architecturally match the residence and is subject to review by the ACA.

3. Pools and Spas

- a. Pools constructed above ground are prohibited.
- b. Prefabricated spas or hot tubs, installed above ground are acceptable, but when visible from public view or other lots, they shall be skirted, decked, screened or landscaped to hide all plumbing, heaters, pumps, filters, etc.

- c. Privacy screens for pools or spas on Landscape Reserves Lots should be set back a minimum of twenty feet (20') from the rear property line and cannot exceed thirty feet (30') in width parallel to the rear property line unless otherwise approved by the ACA.
- d. Privacy screens should not exceed six feet (6') above existing grade.
- e. Screening material may be masonry (compatible with the residence), wood fence with finished side out, or other screening material approved by the ACA.
- f. Swimming pool appurtenances, such as rock waterfalls and slides, are encouraged to be in keeping with the scale of the home as determined by the ACA.
- g. Skimmer nets, brushes, heaters, plumbing, etc. shall not be visible from public view. Consideration should be given to the impact of noise to adjacent homes.
- h. Pool walls shall not encroach on utility drainage or detention easements.
- i. Wood or concrete pools decks may be placed on utility easements with permission from utility companies, but are subject to removal by utility companies.
- j. Decks shall not alter drainage on neighboring lots or directly abut fencing and at a minimum shall be two feet (2') from the side property line.

IV. MODEL HOMES/MODEL HOME PARK

A. Model Home Layout

1. Modifications

Realizing that model homes will function as sales offices, modifications to the finished product that would actually be sold is expected. However, Builders are expected to emulate as closely as possible the end product that a consumer can expect to receive.

Before sale by the Builder, all modifications (e.g., front yard fencing, atrium doors in lieu of overhead garage doors, floodlights, etc.) must be removed and the unit restored to its standard appearance.

2. Yard Lights

Each model should have, unless otherwise specified by the ACA, yard lights installed that will illuminate the model homes during the period from dusk to 10:00 p.m. The Builder may employ other types of illumination upon approval of the ACA.

3. Fencing

Fencing on sales models will always be of an iron/metal material of a standard configuration where it is adjacent to front yards. Fences will always permit view of the home and into the lot from the street. Model home fences should never exceed four feet (4') in height in the front yard. Wood fencing is allowed in the rear yards of model homes. All fence designs must be submitted to the ACA for review and approval.

4. Flag Poles

A maximum of two (2) flagpoles per model home site, per builder will be allowed to display a U.S. flag, a Texas flag, or builder flag and must be properly lit.

The flagpole should be one-piece construction of brushed anodized aluminum not to exceed thirty-five feet (35') in height. The pole should be capable of withstanding local wind velocities.

The length of the flag should be approximately one-fourth (1/4) the height of the pole on which it is mounted. Building-mounted flagpoles are not permitted. Flags and/or poles must be replaced when they become faded or worn.

B. Maintenance: Model Home Exteriors and Landscaping

1. Model Homes Exterior

Exterior of model homes should be kept in a new and fresh condition. Doors, siding, and trim are to be kept clean and painted when necessary. If, in the opinion of the ACA, areas of a model home require refurbishing, the ACA will give the respective builder two (2) weeks notice in writing in which to correct the deficiencies.

2. Landscaping

The front and rear yards of all model homes are to be landscaped including fully sodded yards and foundation plant material. Model homes shall be allowed to install small water ponds, waterfalls, etc. which shall be removed at the time the model home is converted to a residential home.

C. Model Home/Builder Signage

One (1) yard sign per lot is allowed for the purpose of advertising a particular Builder name or to advertise the property for sale or rent. No additional sign, advertisement, billboard, or advertising structure of any kind shall be displayed to public view on any lot.

Builders will be allowed one (1) yard sign per builder, per model park. The sign may be a maximum of thirty-two square feet (32-sq. ft.) in area. Base landscaping is required. The sign will be allowed for a period of time commensurate with the model homes sales program only. Model identification signs may not exceed three (3) square feet. In addition, one (1) sign no larger than three (3) square feet may be used to indicate whether a model home is open/closed and the hours of operation only. This sign must be close to the front door.

The ACA has the right to remove any sign, advertisement, billboard, or advertising structure which is in violation of these guidelines. All model home signage packages must be submitted to the ACA for review and approval.